



**SHEET INDEX**

SITE PLAN	A1.0
FOUNDATION PLAN	A2.0
FLOOR PLAN	A3.0
ELEVATIONS	A4.0
ROOF PLAN	A5.0
SHOP PLANS	A5.1
DEAILS	D1.0
ELECTRICAL PLAN	E1.0

**FLOOR AREAS**

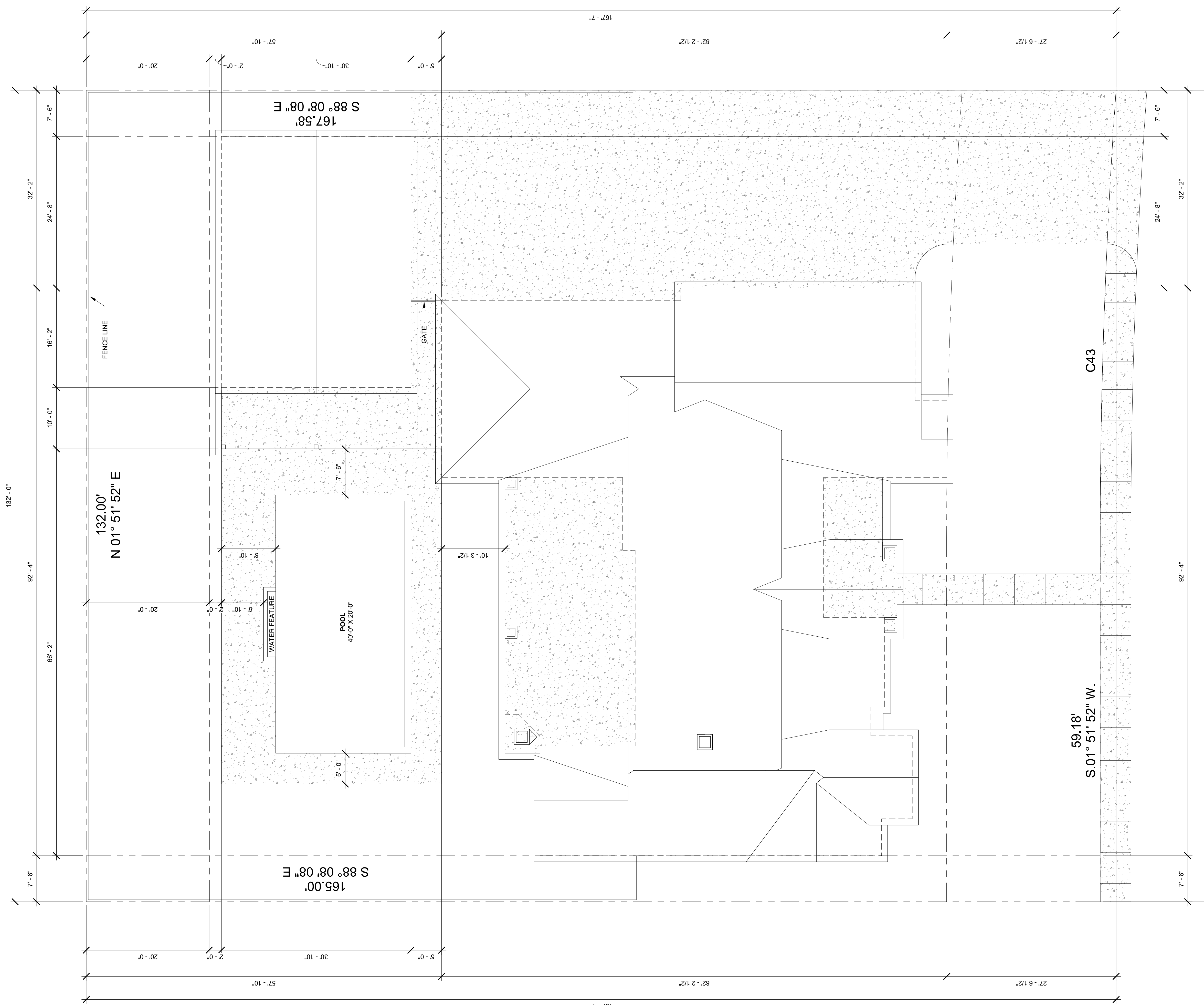
LIVING O.B.S.F.	3,794 SF
SHOP O.B.S.F.	1,259 SF
GARAGE O.B.S.F.	1,197 SF
BACK PORCH	903 SF
SHOP PORCH	308 SF
FRONT PORCH	246 SF
O.B.S.F. TOTAL	7,707 SF
LIVING O.F.S.F.	3,662 SF
SHOP O.F.S.F.	1,200 SF
GARAGE O.F.S.F.	1,157 SF
BACK PORCH	903 SF
SHOP PORCH	308 SF
FRONT PORCH	246 SF
O.F.S.F. TOTAL	7,476 SF

**CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD BRG.	CHORD DIST.
C43	1028.00'	72.88'	S 04° 53' 43" W	72.86'

**GENERAL NOTES**

- ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
- VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION
- SET TOP OF SLAB HEIGHT AS REQUIRED FOR PROPER SITE DRAINAGE
- SLOPE ALL GRADES TOWARDS FRONT AND REAR PROPERTY LINES
- FENCING LOCATION TO BE VERIFIED WITH OWNER
- FINAL LOCATION OF RESIDENCE, DRIVES, SIDEWALKS, ETC. TO BE VERIFIED WITH OWNER
- VERIFY WITH OWNER / HVAC CONTRACTOR LOCATION OF A/C CONDENSING UNIT PADS
- VERIFY ROOF SLOPES
- FIREPLACE SIZES TO BE VERIFIED, INCLUDING HEARTH EXTENSIONS VERIFIED BY CODE
- RIDGE VENTS TO BE INSTALLED AS REQUIRED FOR ATTIC. 1 PER 300 SQ FT
- CONTRACTOR IS TO FOLLOW LOCAL AND STATE CODES
- ALL GLAZING WITHIN 2'-0" OF EXTERIOR DOOR SHALL BE TEMPERED GLASS
- ALL HVAC PLUMBING AND ELECTRICAL WORK TO BE PERFORMED BY A LICENSE CONTRACTOR
- ALL FINISHED PICKED OUT BY OWNER
- ALL WINDOW SIZES TO BE VERIFIED BY OWNER
- ALL DOOR SIZES TO BE VERIFIED BY OWNER
- ALL WINDOW SIZES TO BE VERIFIED BY OWNER
- ATTIC ACCESS TO BE VERIFIED BY OWNER
- THIS PLAN IS DESIGNED FOR INTENDED USE OF JAMES HARDE CORNUS PACKAGE. CONTACT BUILDER/CONTRACTOR FOR VERIFICATION AND APPROVAL. ANY QUESTIONS ON PRODUCT CALL 800.224.5710



1 - SITE PLAN  
1/8" = 1'-0"



PROJECT: **Matt Vance 2025 Parade**  
 Lot 14 Vineyards  
 DRAFTING: **MATT VANCE HOMES**  
 DATE: 09/15/24  
 PROJECT NO: 24-075  
 REVISION: \_\_\_\_\_ DATE: \_\_\_\_\_

NOTES:

PLAN USE AGREEMENT  
 BY USING THESE PLANS THE BUILDING OWNER AGREES TO THE FOLLOWING: THESE PLANS ARE THE PROPERTY OF BH DRAFTING AND DESIGN AND ARE NOT TO BE TRACED, REPRODUCED, OR REUSED FOR CONSTRUCTION WITHOUT WRITTEN CONSENT OF BH DRAFTING AND DESIGN. BUILDER/OWNER SHALL CHECK AND VERIFY ALL DRAWINGS PRIOR TO CONSTRUCTION.

**SITE PLAN**

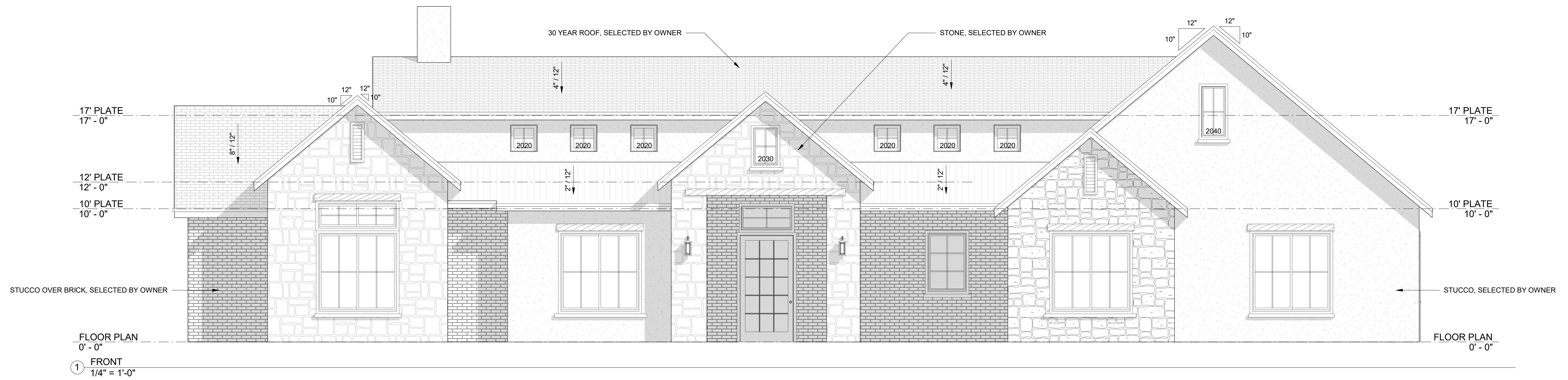
SCALE: 1/8" = 1'-0"  
 SHEET: 30" X 42"

**A1.0**

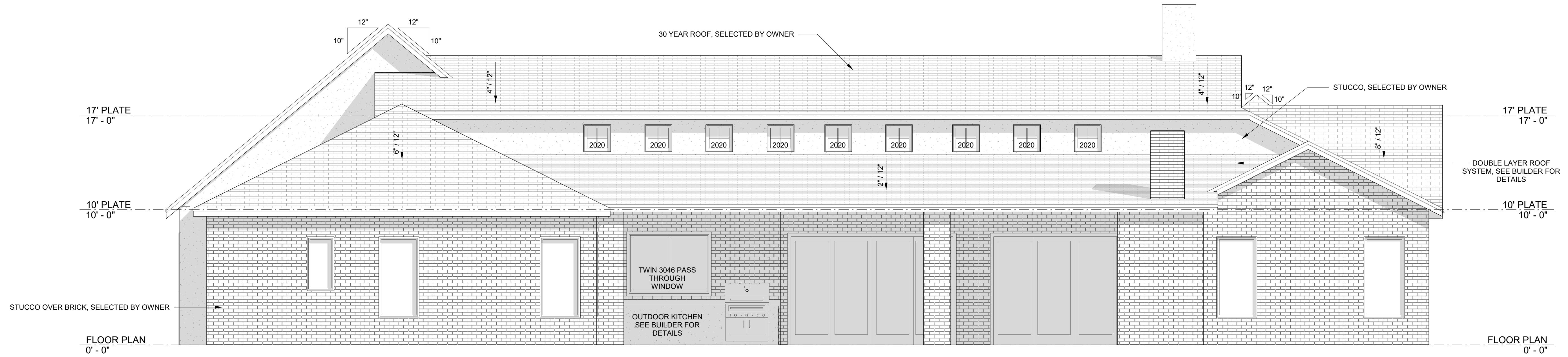
DRAWN BY: AG



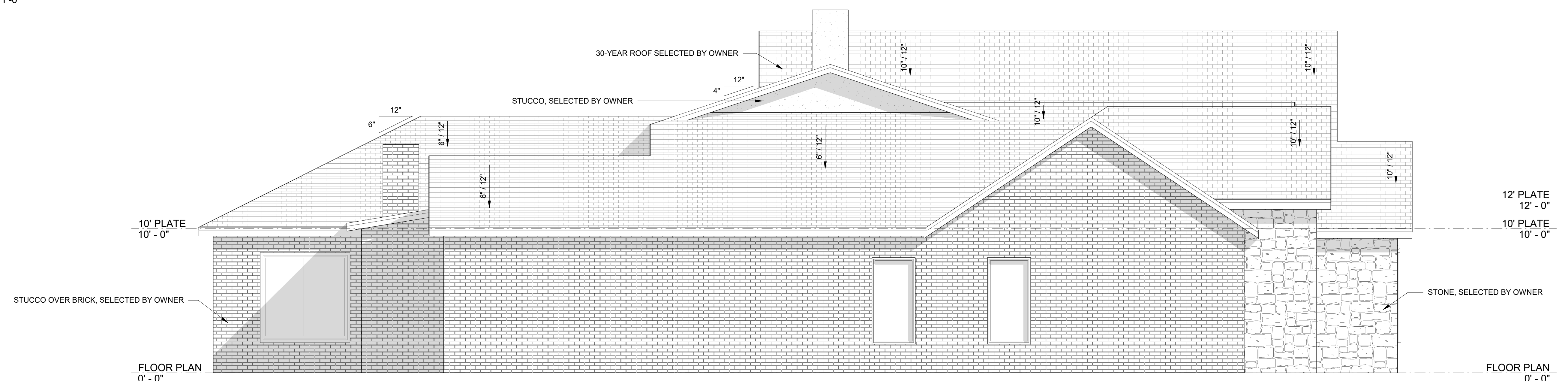




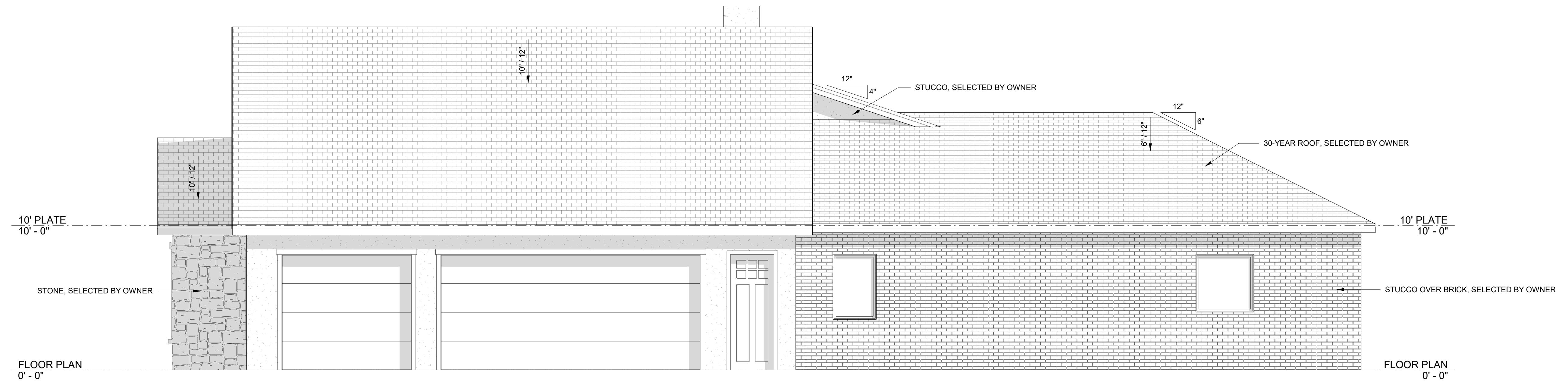
① FRONT  
1/4" = 1'-0"



② BACK  
1/4" = 1'-0"



③ LEFT  
1/4" = 1'-0"



④ RIGHT  
1/4" = 1'-0"

PLAN USE AGREEMENT  
BY USING THESE PLANS  
THE BUILDING OWNER AGREES TO THE  
FOLLOWING: THESE PLANS ARE THE  
PROPERTY OF BH DRAFTING  
AND DESIGN AND ARE NOT TO BE  
TRACED, REPRODUCED, OR  
RELEASED FOR CONSTRUCTION  
WITHOUT WRITTEN CONSENT OF BH  
DRAFTING AND DESIGN. BUILDING  
OWNER SHALL CHECK AND  
VERIFY ALL DRAWINGS PRIOR TO  
CONSTRUCTION.

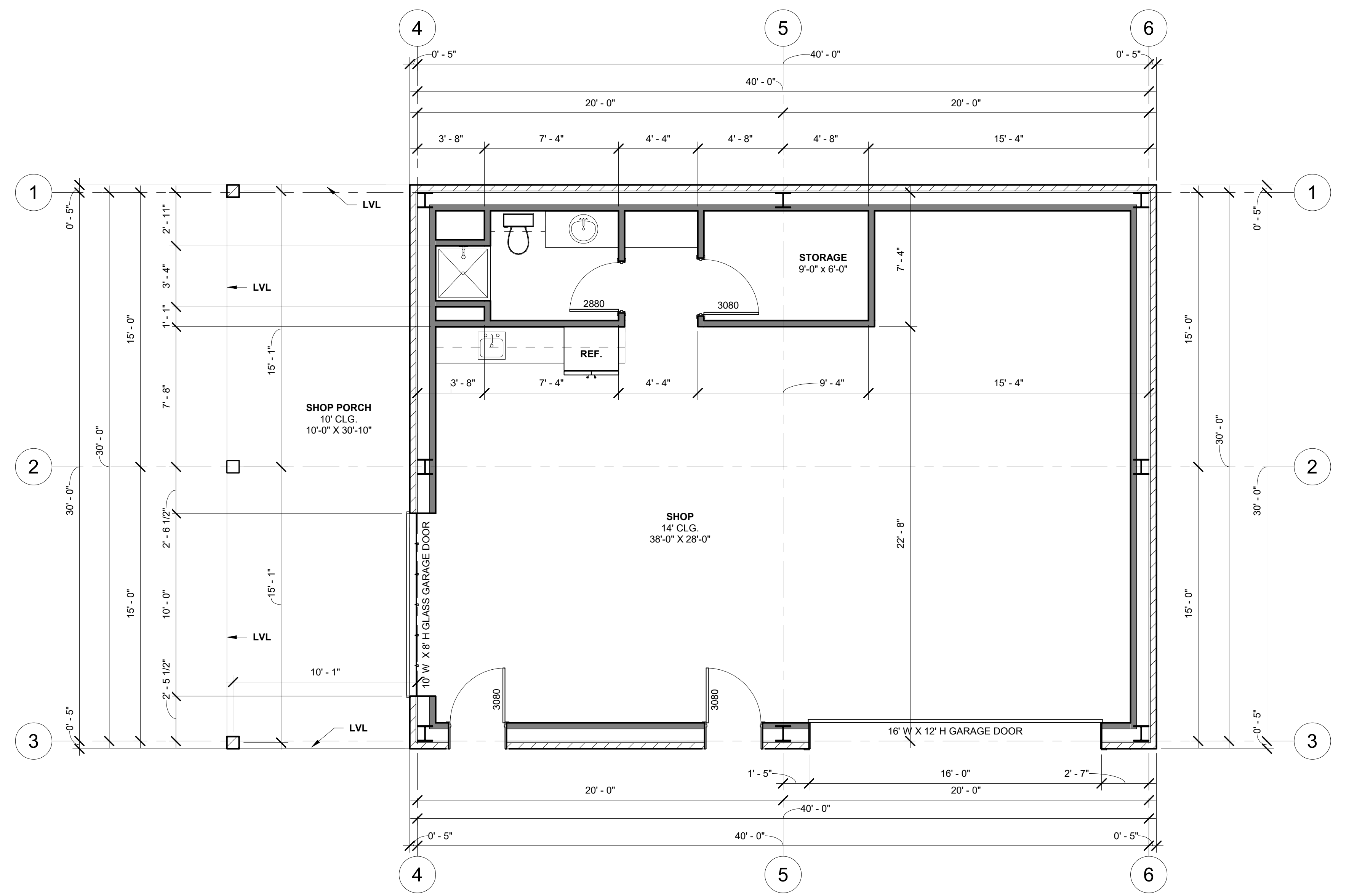
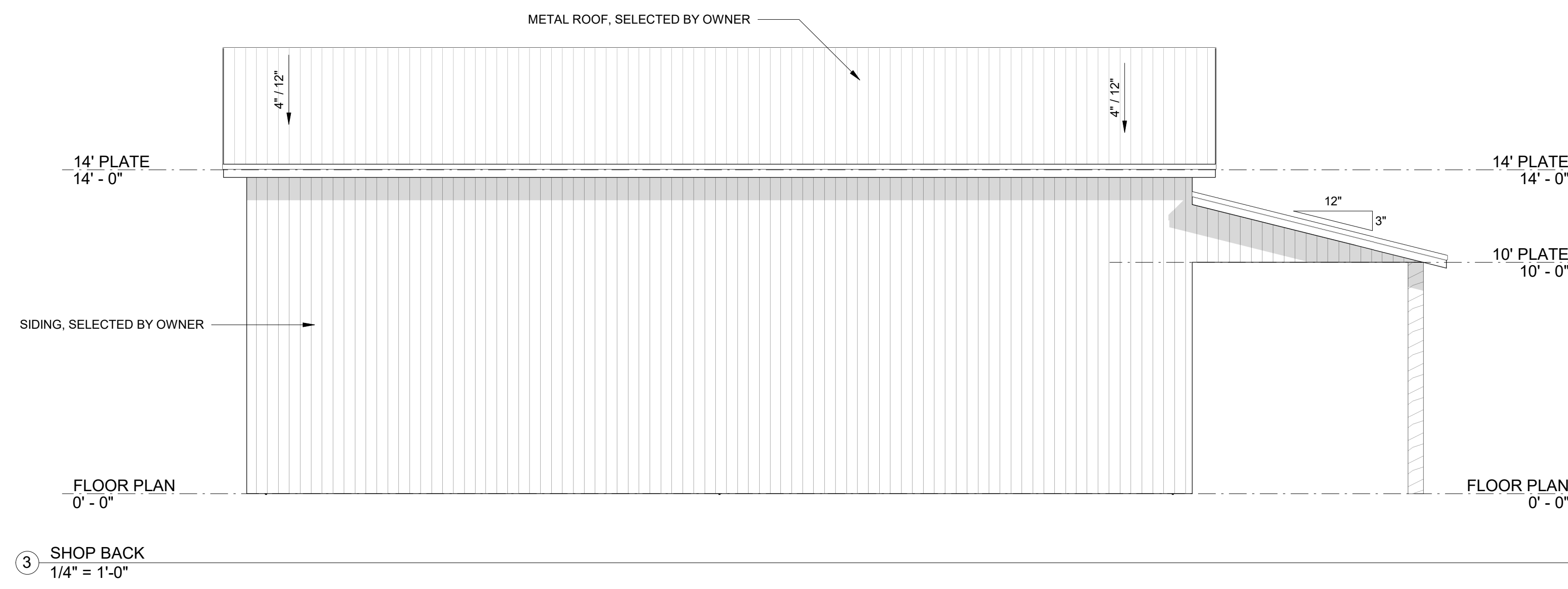
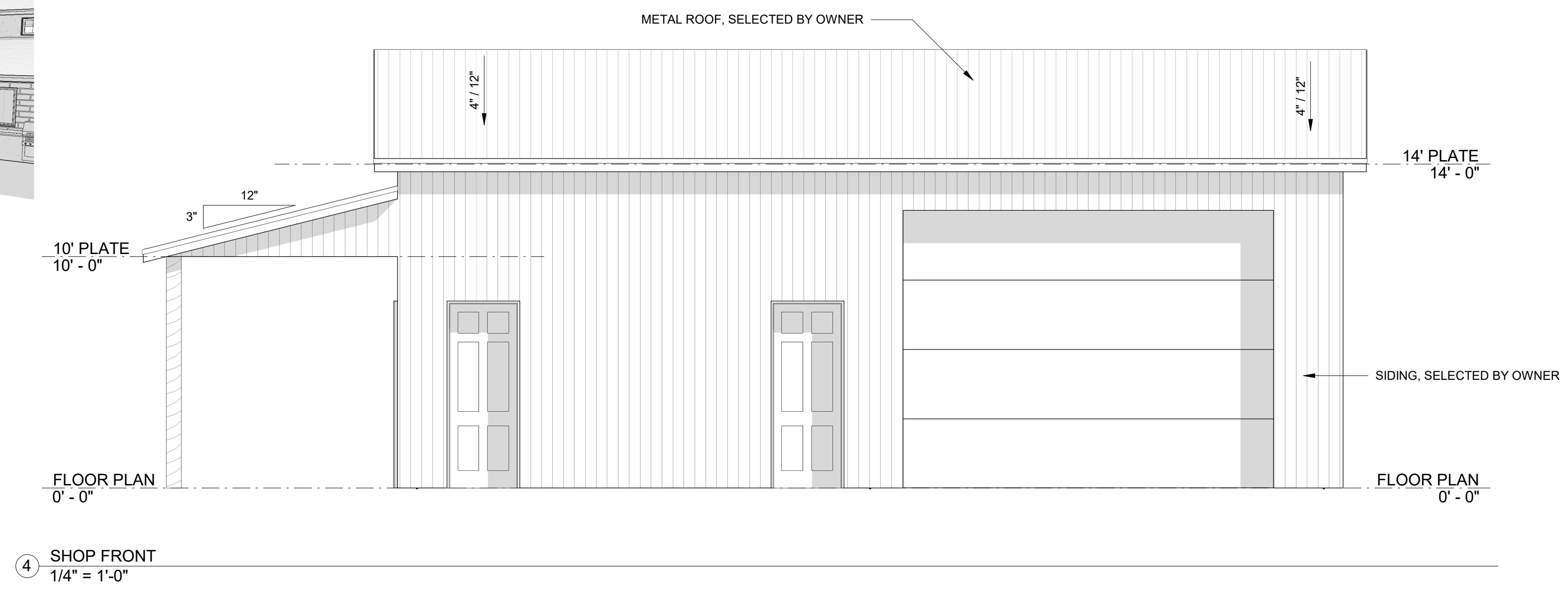
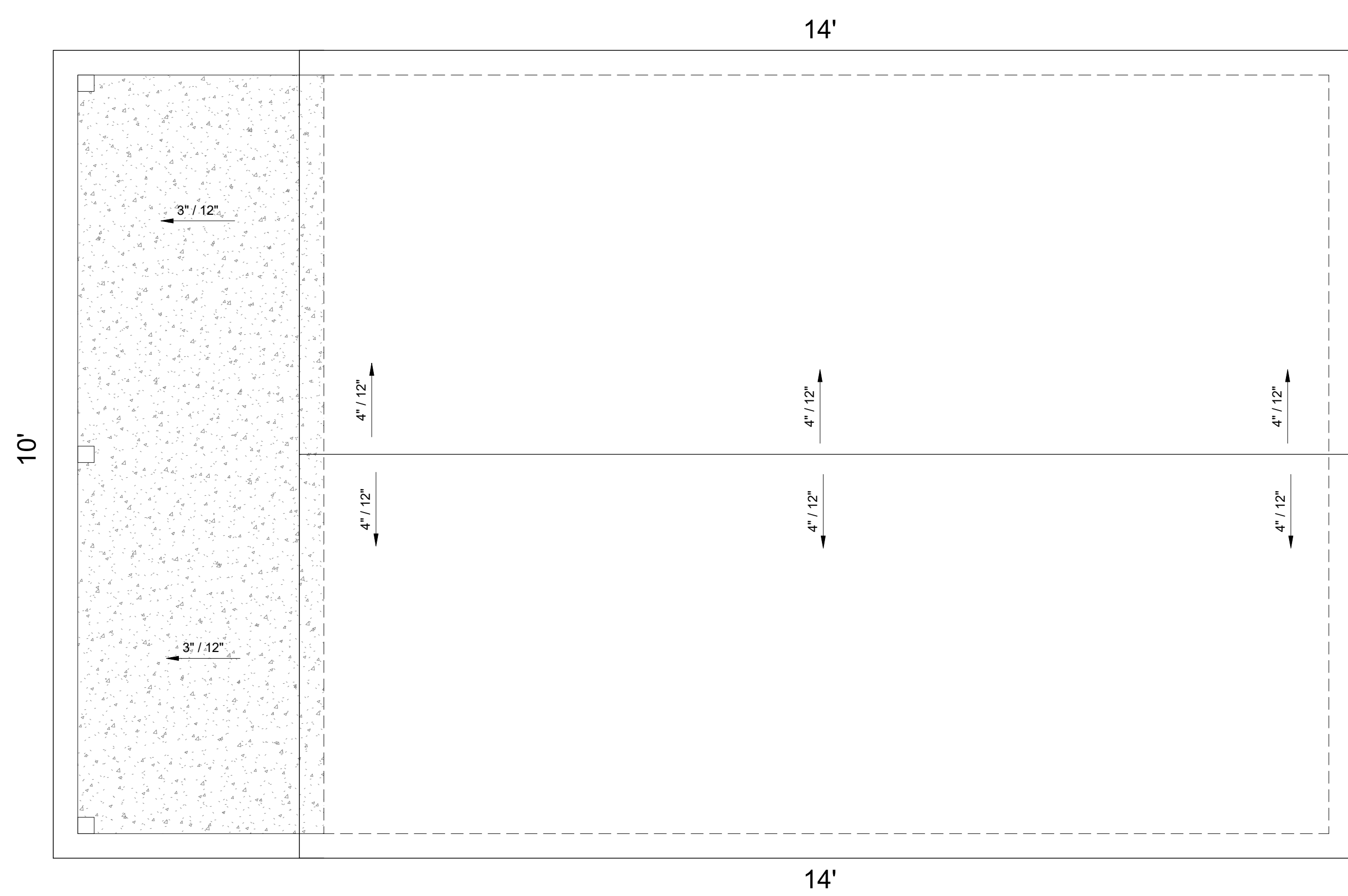
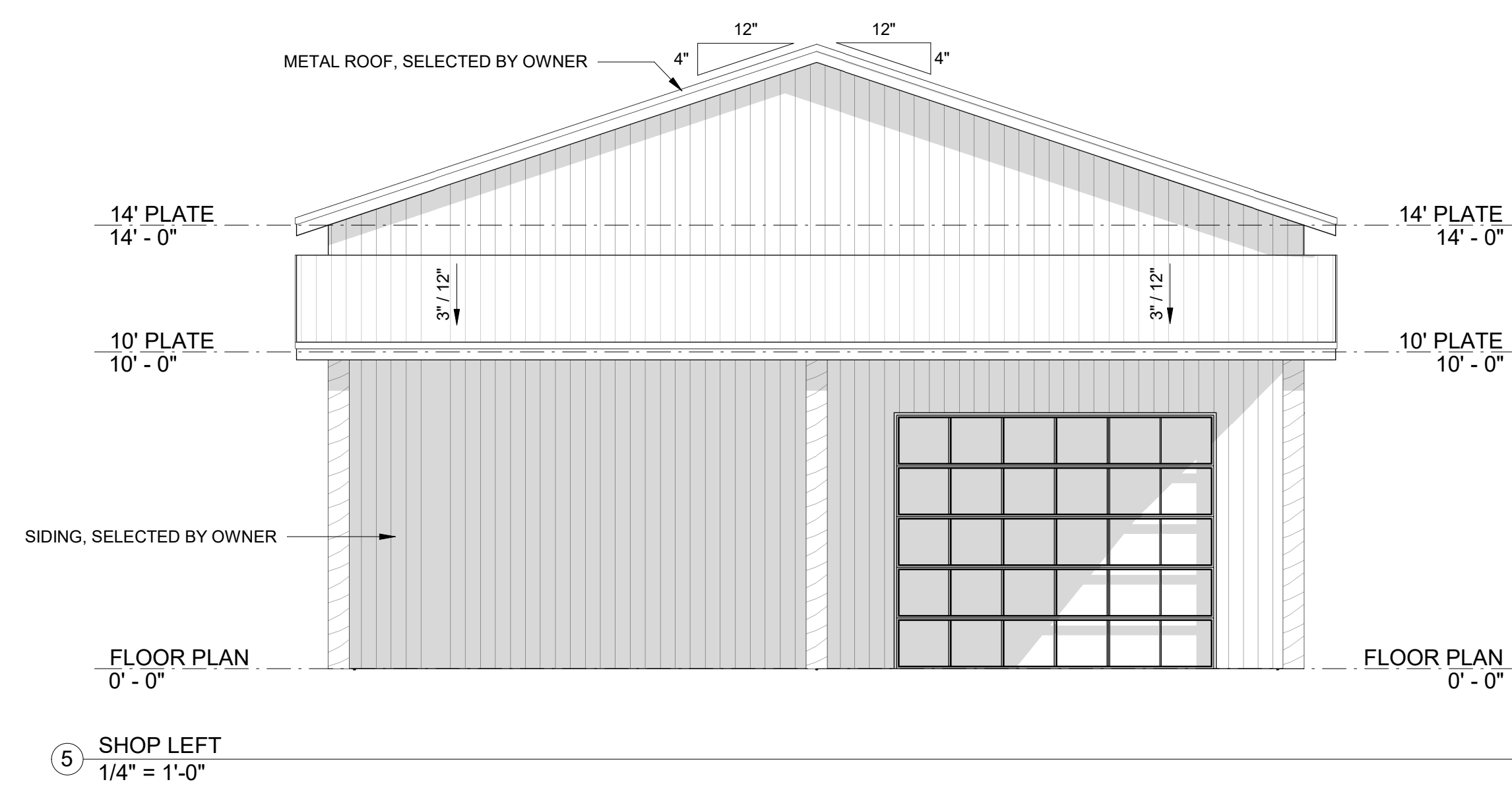
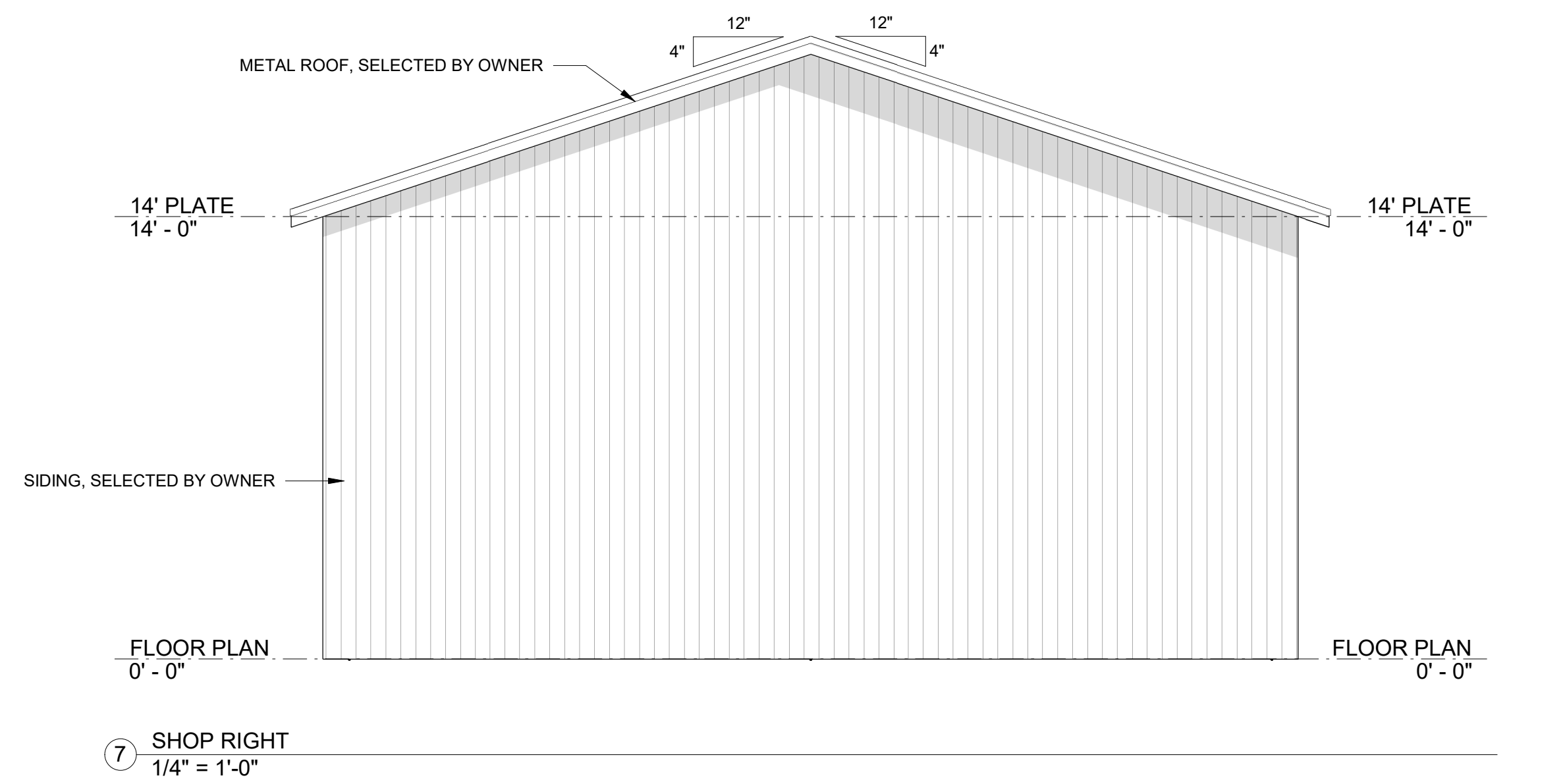
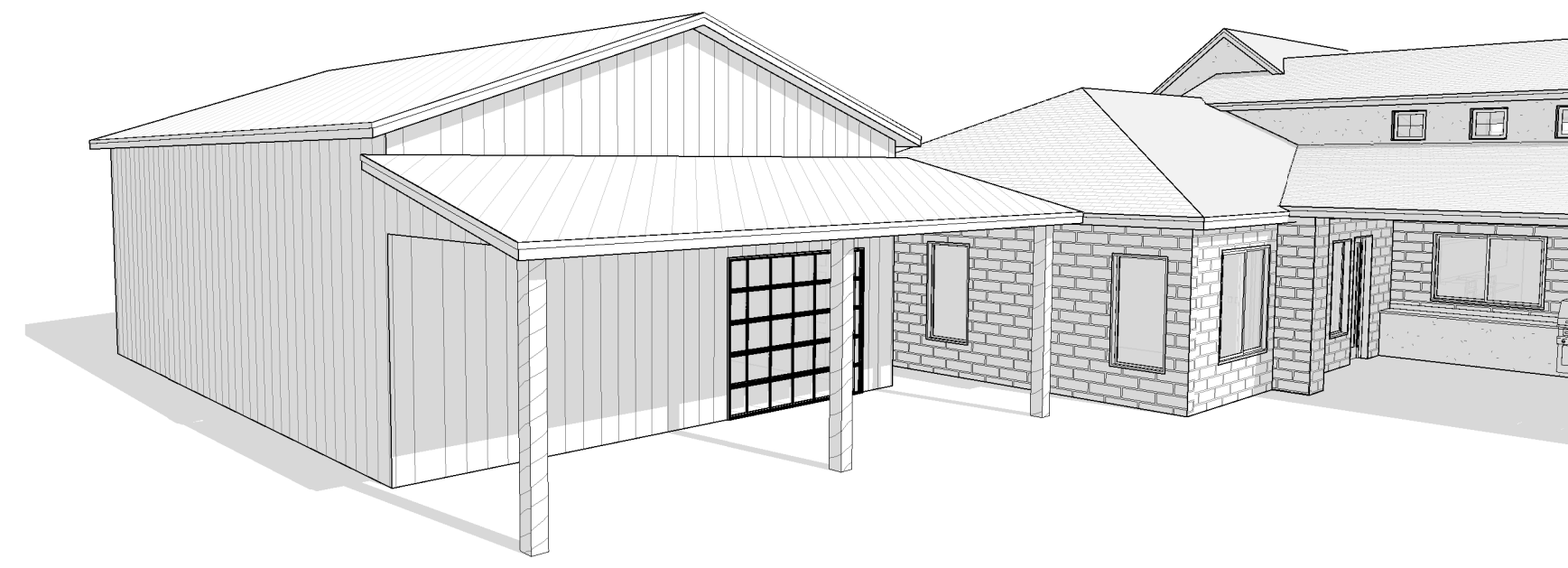
**ELEVATIONS**

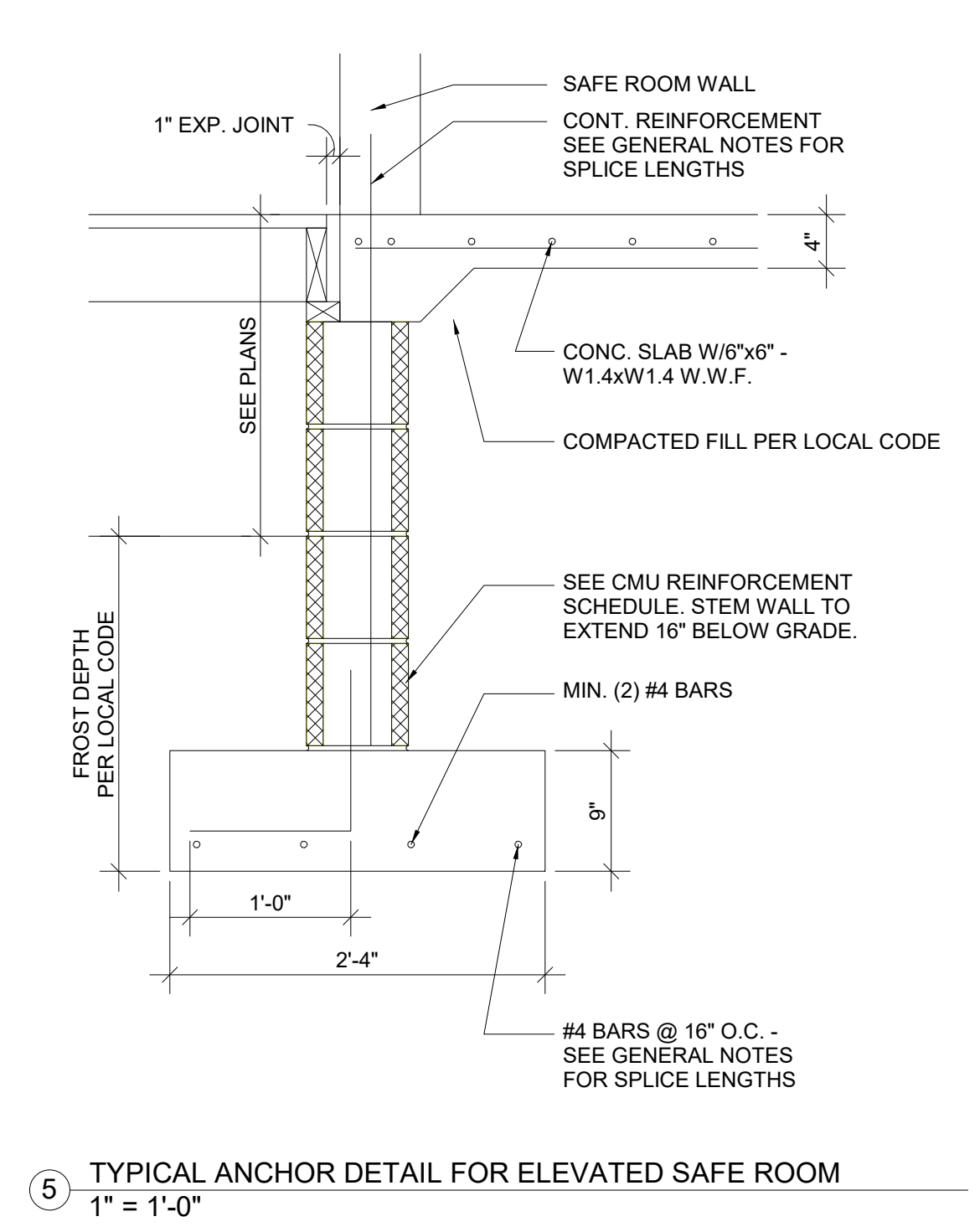
SCALE: 1/4" = 1'-0"  
SHEET: 30" X 42"

**A4.0**

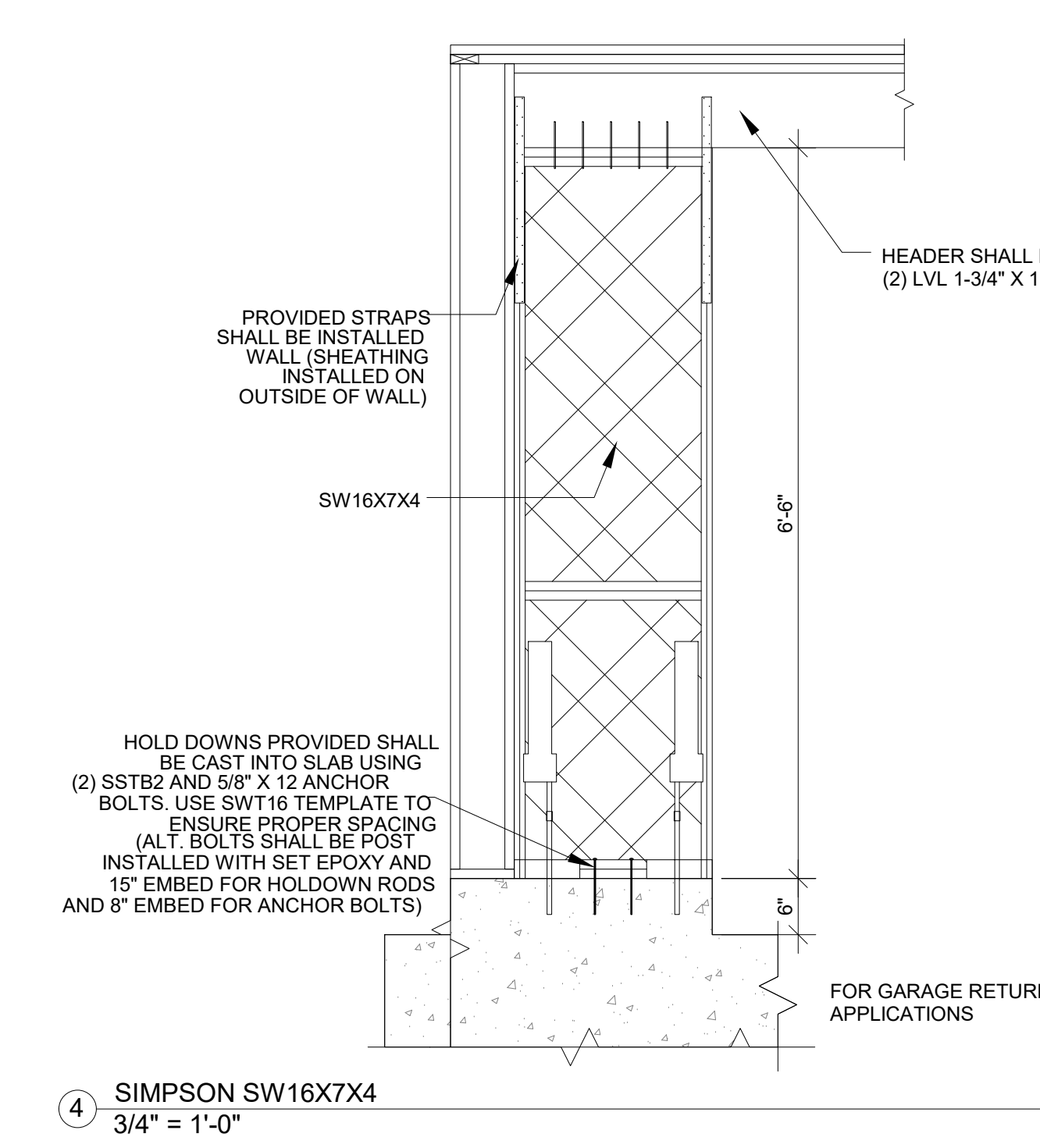
DRAWN BY: AG



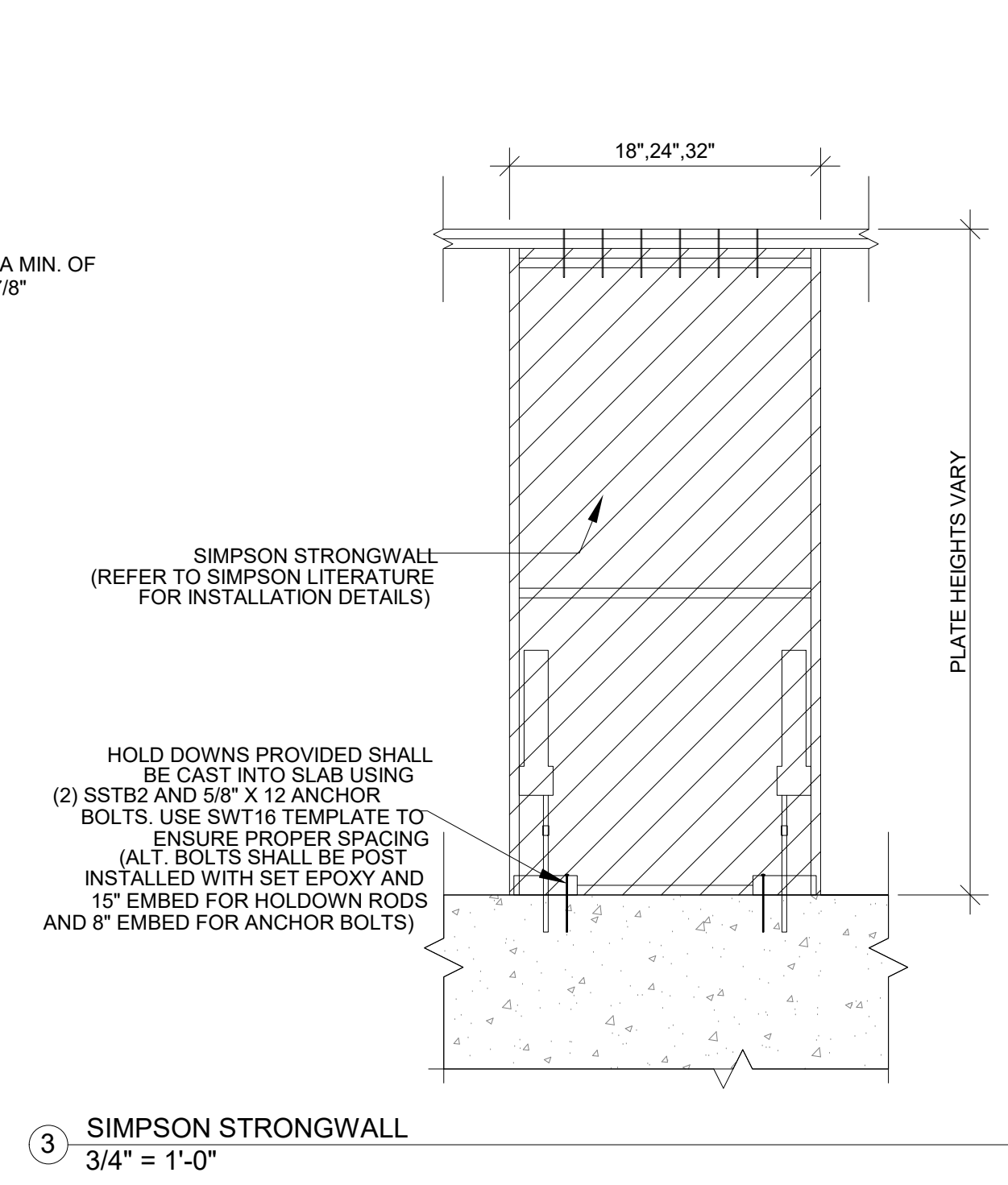




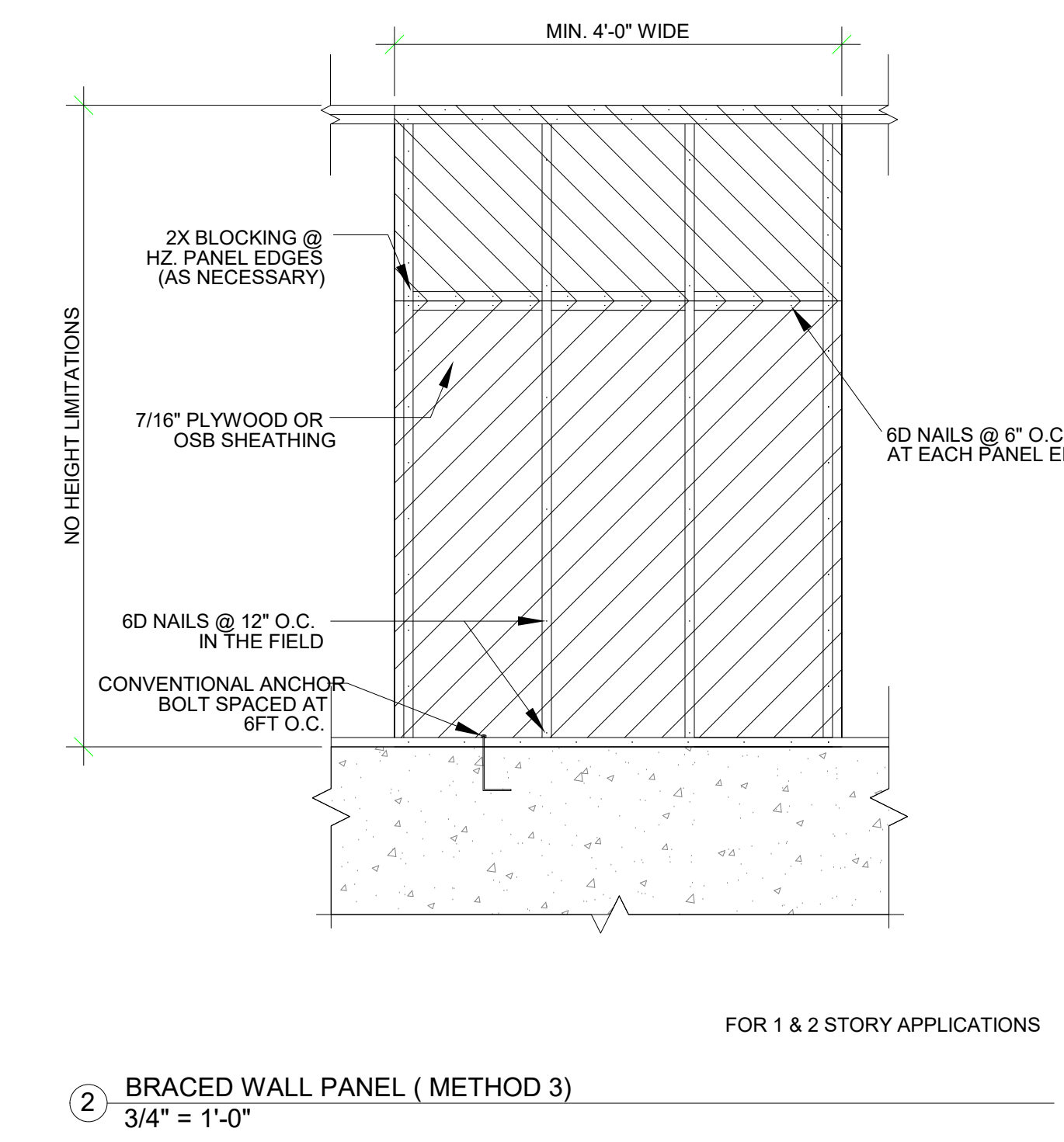
5 TYPICAL ANCHOR DETAIL FOR ELEVATED SAFE ROOM  
1/4" = 1'-0"



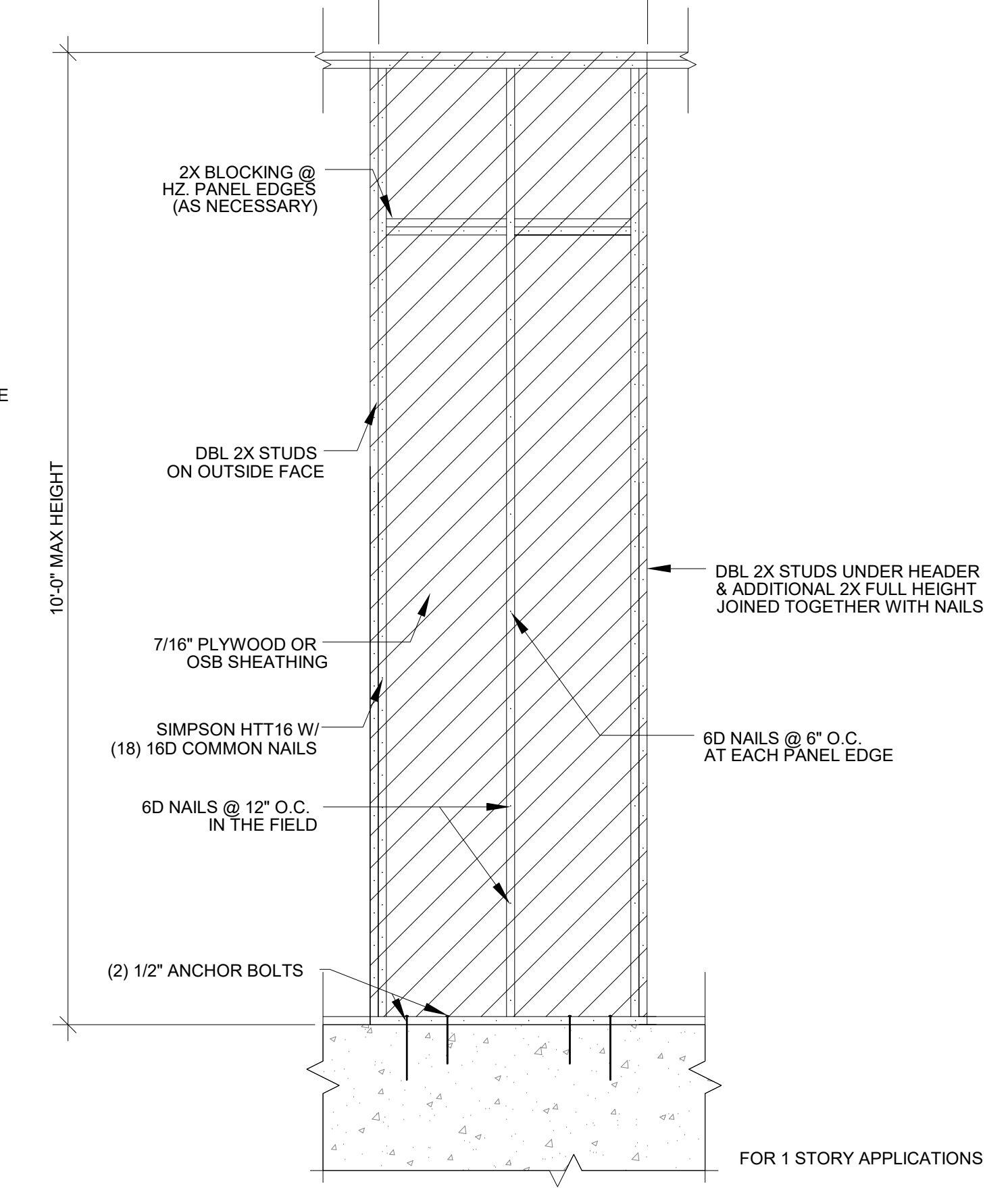
4 SIMPSON SW16X7X4  
3/4" = 1'-0"



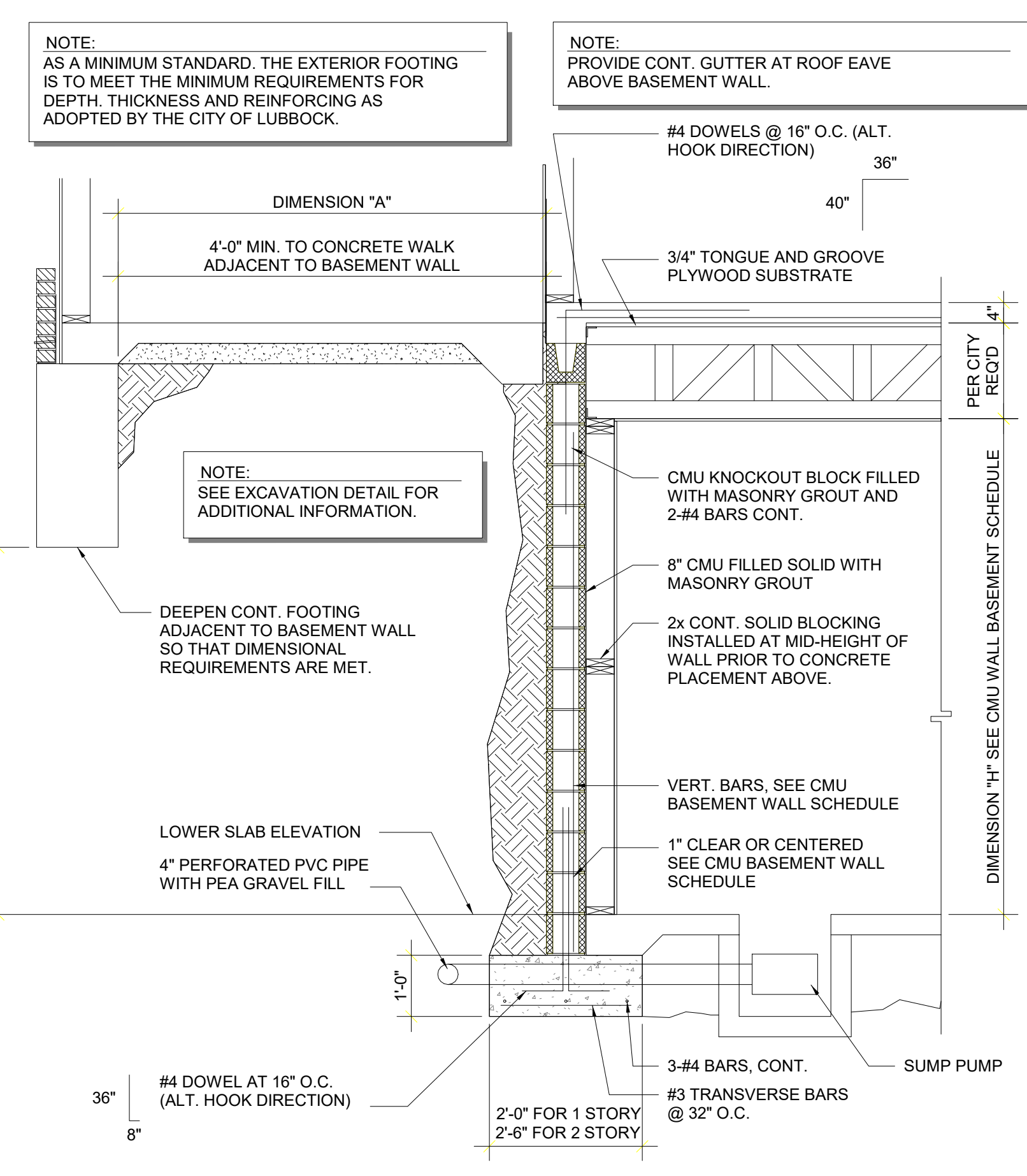
3 SIMPSON STRONGWALL  
3/4" = 1'-0"



2 BRACED WALL PANEL (METHOD 3)  
3/4" = 1'-0"

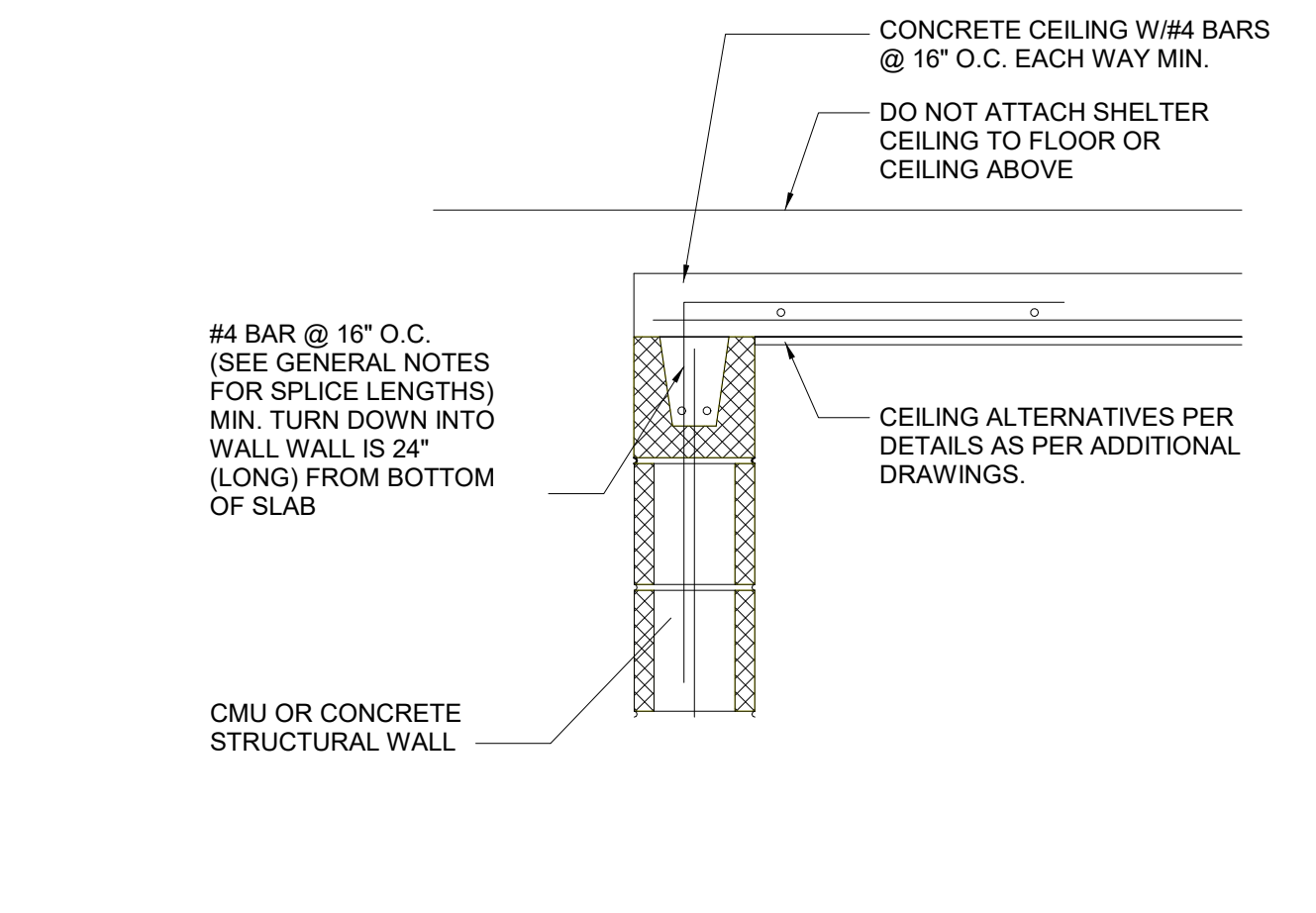


1 ALTERNATE BRACED WALL PANEL  
3/4" = 1'-0"



12 EXTERIOR WALL PROXIMITY TO BASEMENT WALL DETAIL  
1/2" = 1'-0"

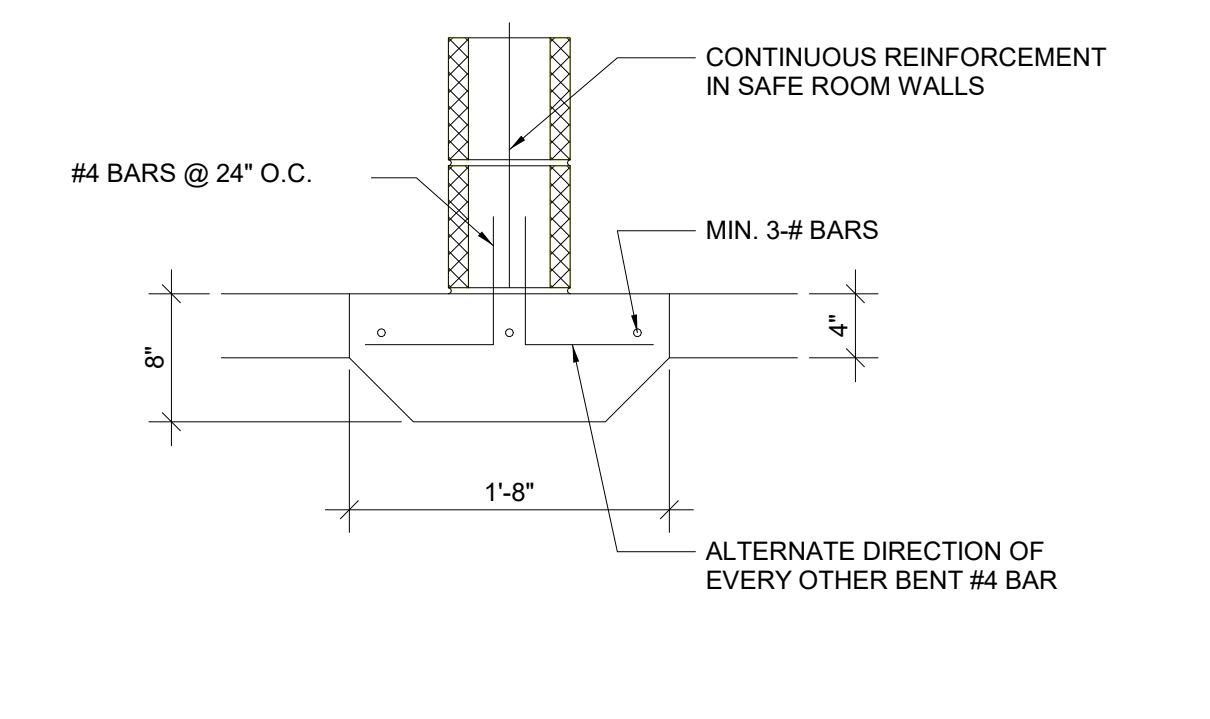
TYPE OF CONST.	MAX. FLOOR ELEVATION
CONCRETE	5'
CMU	5'
WOOD W/CMU INFILL	5'
WOOD W/STEEL SHEATHING	3'



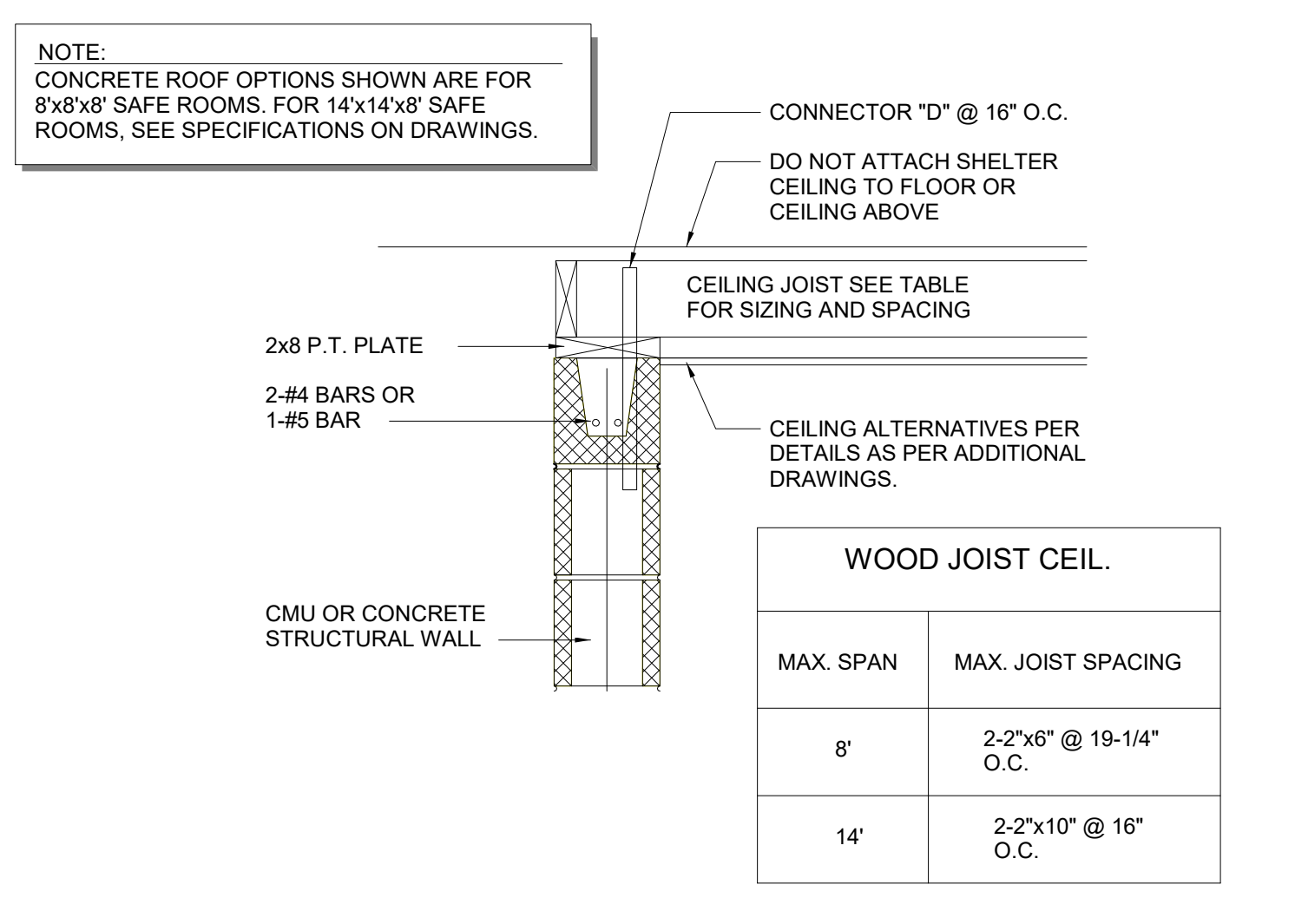
7 TYPICAL WALL/CEILING CONNECTION FRAMING  
1" = 1'-0"

NOTE: WHEN PERMITTED BY CODE, A RETROFIT SAFE ROOM MAY BE ANCHORED TO AN EXISTING SLAB IF EXISTING SLAB IS FOUND TO HAVE ADEQUATE THICKNESS AND REINFORCING AT EACH CORNER AND EACH SIDE OF DOORWAYS MIN. AND AT A MIN. #4 BARS MUST BE DOWELED AND EPOXY SET INTO THE SLAB SUCH THAT THEY PROVIDE 1,000 LBS TENSILE AND CARRY 800 LBS SHEAR.

NOTE: THE OVERALL HEIGHT OF THE SAFE ROOM CANNOT EXCEED THE SHORTEST PLAN DIMENSION BY 10% (I.E. IF THE SHELTER MEASURES 8'X6' IN PLAN DIMENSION, THE MAX. OVERALL HEIGHT OF THE SHELTER IS 6'-7").



6 TYPICAL ANCHOR DETAIL FOR WALL  
1" = 1'-0"

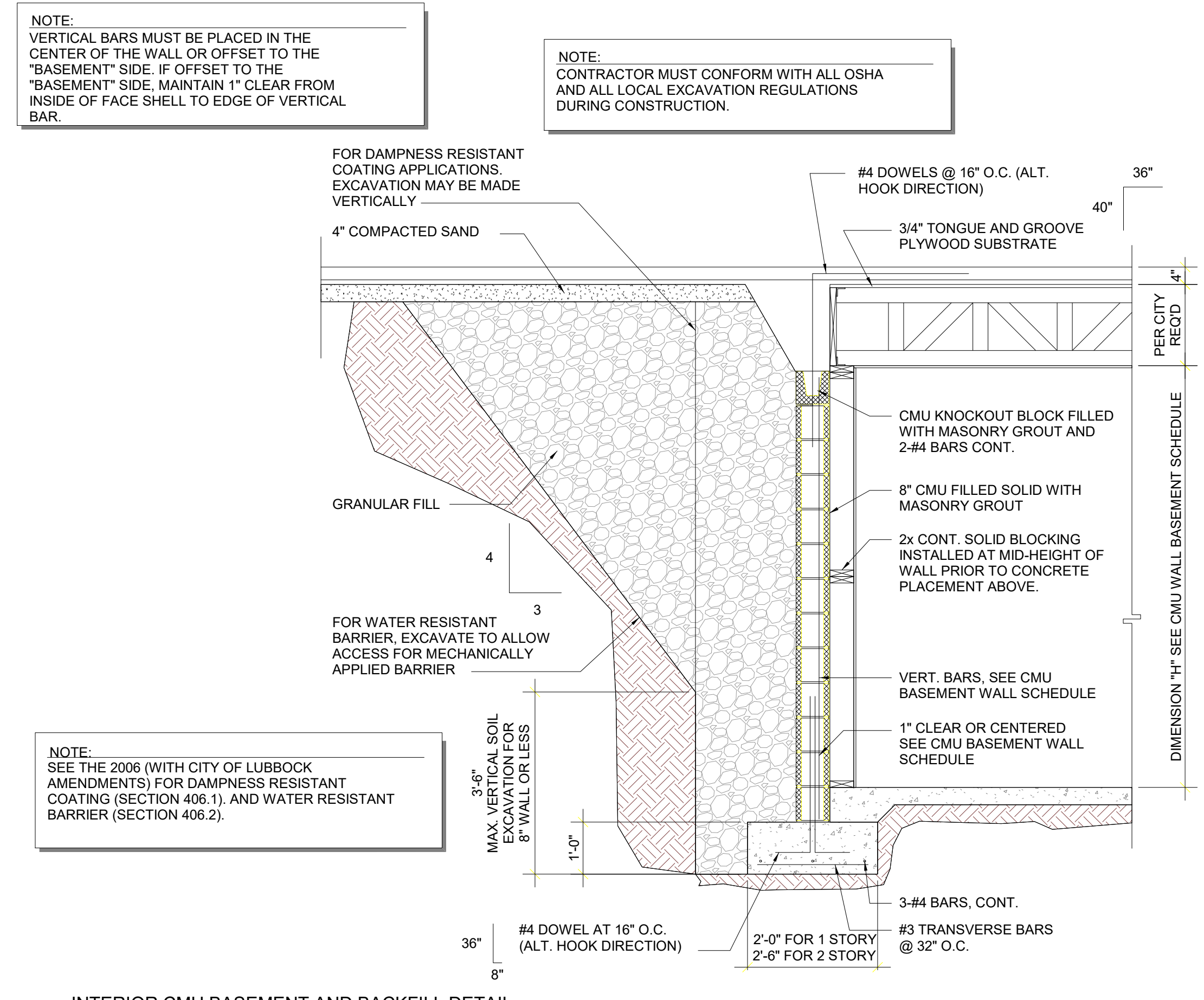


10 TYPICAL WALL/CEILING CONNECTION FRAMING ALTERNATIVE  
1" = 1'-0"

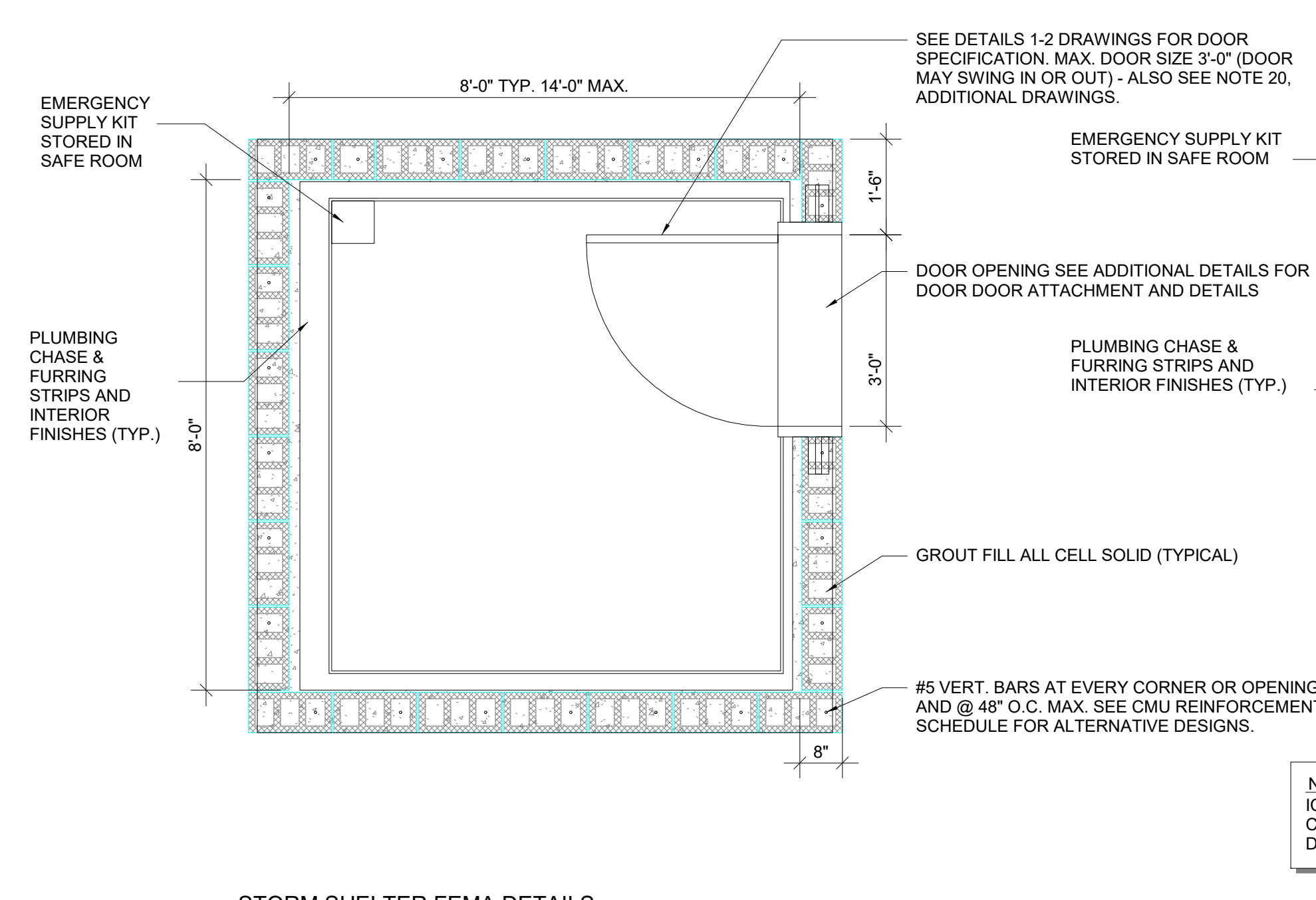
### CMU REINFORCEMENT SCHEDULE

DIMENSIONS	CMU THICKNESS	WALL GROUTING AND REINFORCEMENT SCHEDULE	CONCRETE ROOF OPTIONS SLAB THICKNESS AND REINFORCEMENT
8'x8'	6"	FULLY GROUTED CELLS WITH #4 VERTICAL REINFORCEMENT @ 16" O.C. AND AT EVERY OPENING AND EACH CORNER	4" THICK CONCRETE ROOF SLAB REINFORCED WITH #4 BARS EACH WAY @ 12" O.C.
8'x8'	8"	FULLY GROUTED CELLS WITH #5 VERTICAL REINFORCEMENT @ 48" O.C. AND AT EVERY OPENING AND EACH CORNER	4" THICK CONCRETE ROOF SLAB REINFORCED WITH #4 BARS EACH WAY @ 12" O.C.
14'x14'x8'	8"	FULLY GROUTED CELLS WITH #5 VERTICAL REINFORCEMENT @ 40" O.C. AND AT EVERY OPENING AND EACH CORNER ALTERNATIVE REINFORCEMENT: FULLY GROUTED CELLS WITH #5 VERTICAL REINFORCEMENT @ 32" O.C. AND AT EVERY OPENING AND EACH CORNER	6" THICK CONCRETE ROOF SLAB REINFORCED WITH #4 BARS EACH WAY @ 18" O.C.

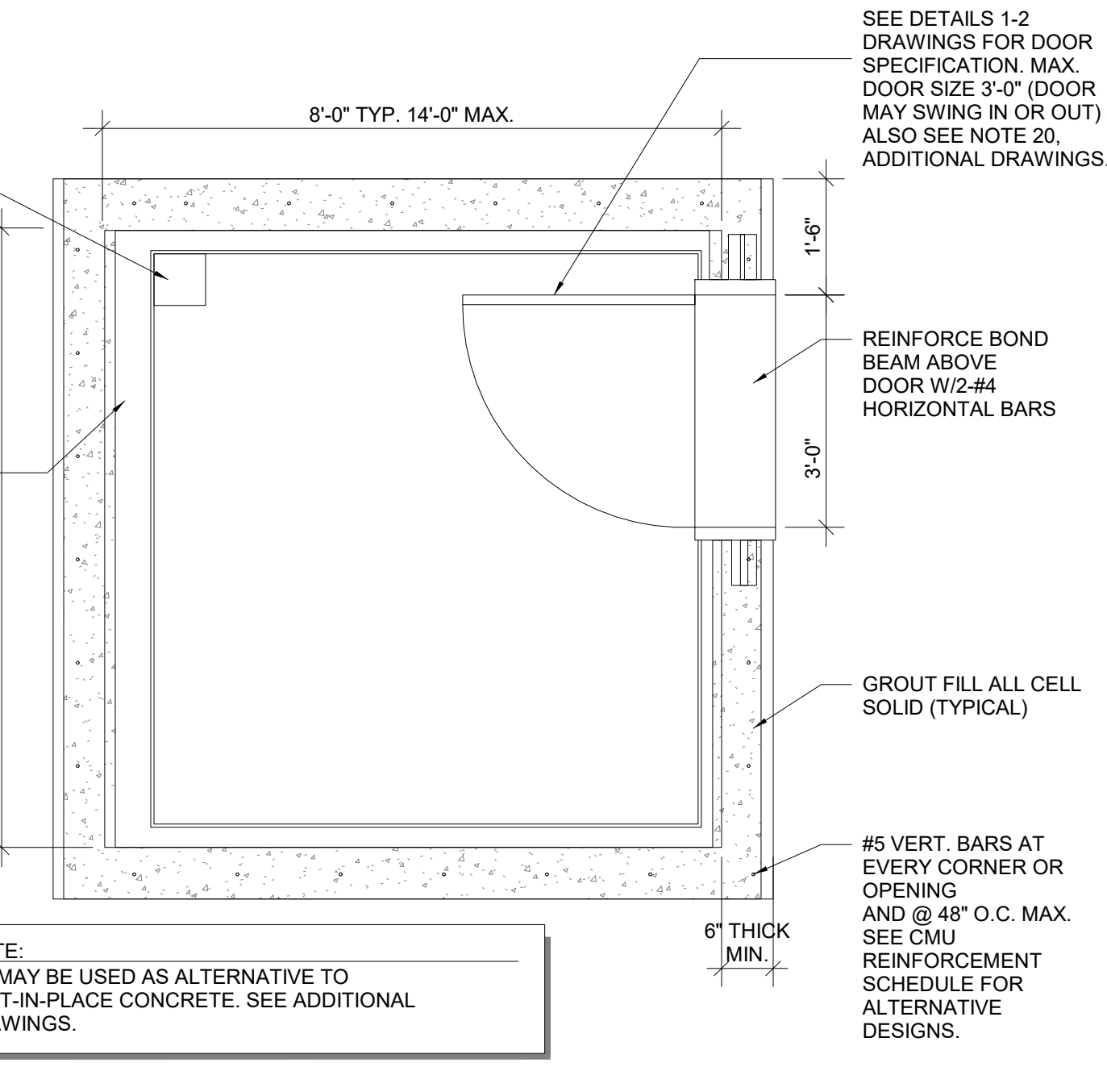
TABLE NOTE: VERTICAL REINFORCEMENT SHALL TERMINATE IN BOND BEAM WITH A STANFORD HOOK. IN CEILING SYSTEM IS A REINFORCED CONCRETE SLAB, A SEPARATE BOND BEAM IS NOT REQUIRED. GROUT WALLS SOLID AS PER NOTES.



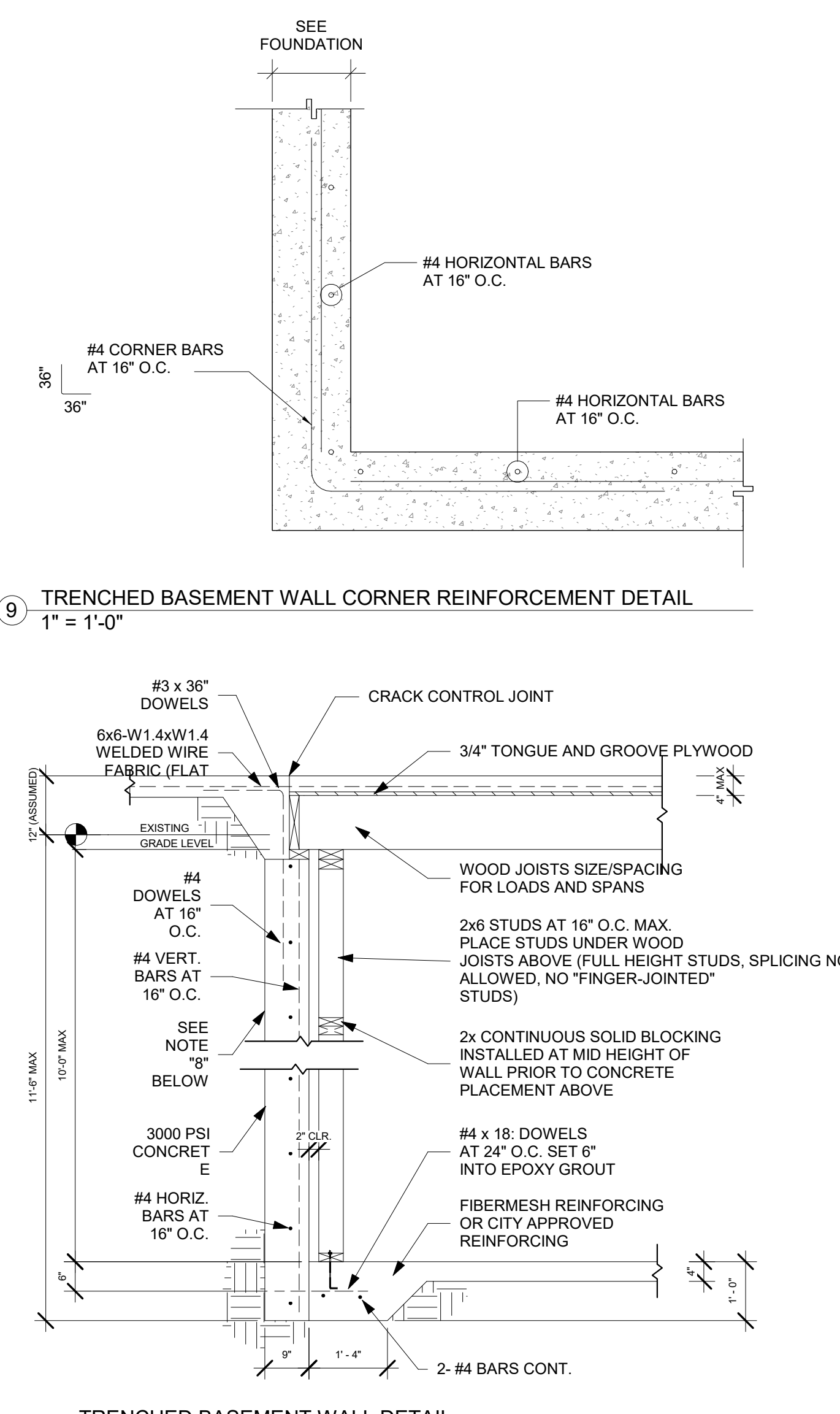
11 INTERIOR CMU BASEMENT AND BACKFILL DETAIL  
1/2" = 1'-0"



8 STORM SHELTER FEMA DETAILS  
1/2" = 1'-0"



9 TRENCHED BASEMENT WALL CORNER REINFORCEMENT DETAIL  
1" = 1'-0"



88 TRENCHED BASEMENT WALL DETAIL  
1/2" = 1'-0"

### WOOD JOIST CEIL.

MAX. SPAN	MAX. JOIST SPACING
8'	2-2"x8" @ 19-1/4" O.C.
14'	2-2"x10" @ 16" O.C.

PLAN USE AGREEMENT  
BY USING THESE PLANS THE BUILDING OWNER AGREES TO THE FOLLOWING: THESE PLANS ARE THE PROPERTY OF BH DRAFTING AND DESIGN AND ARE NOT TO BE TRACED, REPRODUCED, OR REUSED FOR CONSTRUCTION WITHOUT WRITTEN CONSENT OF BH DRAFTING AND DESIGN. BUILDING OWNER SHALL CHECK AND VERIFY ALL DRAWINGS PRIOR TO CONSTRUCTION.

**DEATILS**

SCALE: As indicated  
SHEET: 30" X 42"

**D1.0**

DRAWN BY: AG

GENERAL NOTES

1. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR
2. VERIFY SWITCHING & COMM LAYOUT WITH OWNER
3. VERIFY ALL POWER REQUIREMENTS FOR APPLIANCES, WATER HEATERS, HVAC UNITS, ELECTRIC FIREPLACE, ETC. PROVIDE AND INSTALL ATTIC LIGHTING AND POWER PER OWNER
4. ALL EXTERIOR OUTLETS TO BE WEATHER-PROOF
5. VERIFY ALL CABLE AND TELEPHONE JACKS WITH OWNER
6. ELECTRICAL LAYOUT IS SCHEMATIC ONLY. VERIFY ALL LOCATIONS WITH BUILDER/OWNER
- 7.



8006 2nd St., Ste. #300  
Lubbock, TX 79424



PROJECT: **Matt Vance 2025 Parade**  
Lot 14 Vineyards

DATE: 09/20/24  
PROJECT NO: 24-075

REVISION DATE  
DATE

NOTES:

PLAN USE AGREEMENT  
BY USING THESE PLANS  
BUILDER/OWNER AGREES TO THE  
FOLLOWING: THESE PLANS ARE THE  
PROPERTY OF BH DRAFTING  
AND DESIGN AND ARE NOT TO BE  
TRACED, REPRODUCED, OR  
REUSED FOR CONSTRUCTION  
WITHOUT WRITTEN CONSENT OF BH  
DRAFTING AND DESIGN. BUILDER/  
OWNER SHALL CHECK AND  
VERIFY ALL DRAWINGS PRIOR TO  
CONSTRUCTION.

ELECTRICAL PLAN

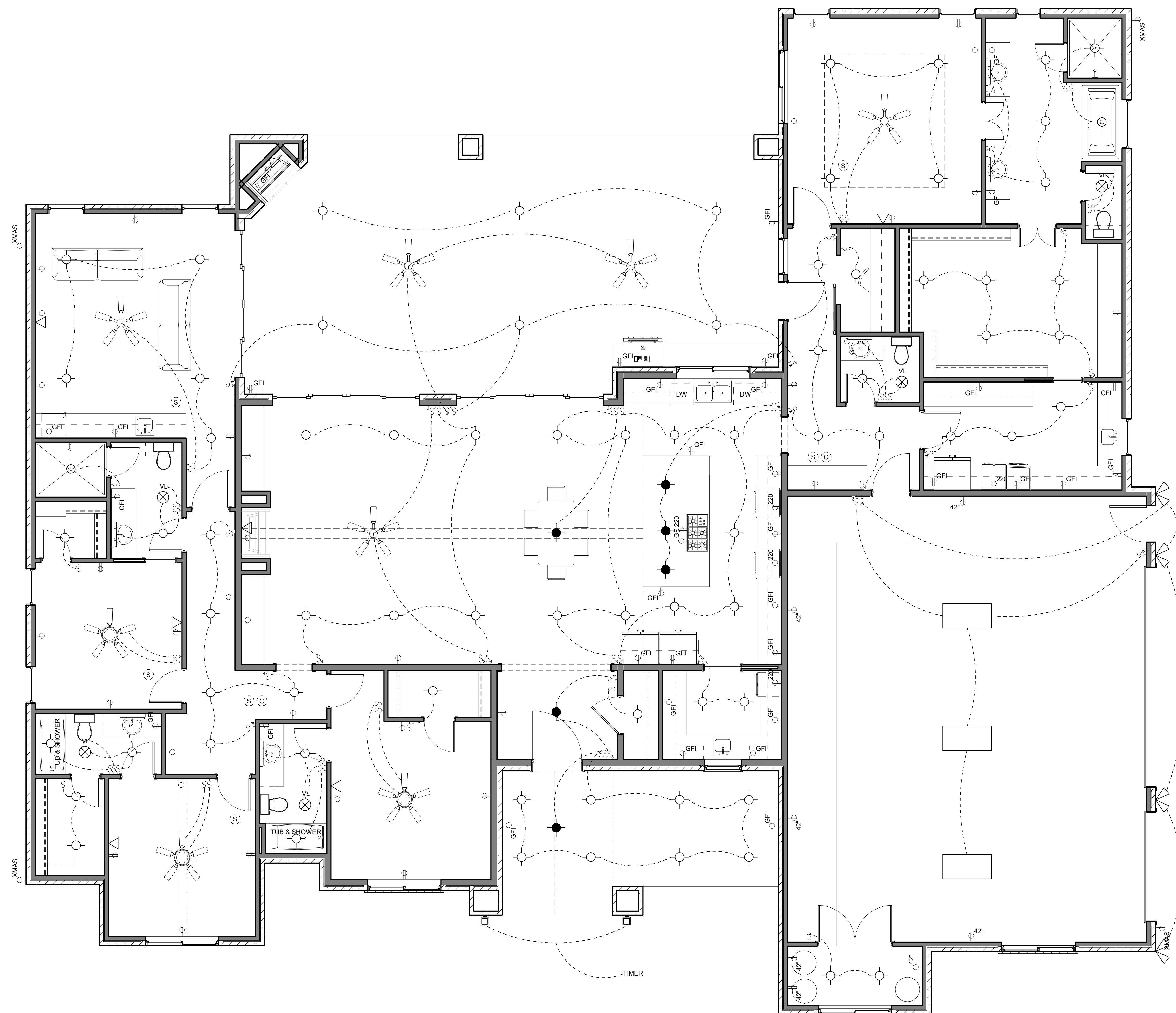
SCALE: 1/4" = 1'-0"  
SHEET: 30" X 42"

E1.0

DRAWN BY: AG

LEGEND

- § LIGHT SWITCH
- §<sub>3</sub> 3-WAY LIGHT SWITCH
- §<sub>4</sub> 4-WAY LIGHT SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ FLOOR DUPLEX OUTLET
- ⊕<sub>GFI</sub> GFI DUPLEX OUTLET
- ⊕<sub>220</sub> 220 VOLT OUTLET
- ▽ DATA
- CAN LIGHT
- PENDANT MOUNTED LIGHT
- COACH LIGHT
- <sub>24"</sub> WALL SCONCE LIGHT W/ MOUNTING HT.
- ▽ EAVE MOUNTED FLOOD LIGHT
- SURFACE MOUNTED LIGHT
- - - UNDER CABINET LIGHTING
- ⊗ VENT / LIGHT COMBO UNIT
- ⊕<sub>CF</sub> CEILING FAN W/ LIGHT KIT
- ⊕<sub>CF</sub> CEILING FAN



5 - ELECTRICAL PLAN  
1/4" = 1'-0"

