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6909 82nd St., Ste. #300
Lubbock, TX 79424 ©2024



FLOOR AREAS

LIVING O.B.S.F.	3,705 SF
GARAGE O.B.S.F.	585 SF
FRONT PORCH	79 SF
BACK PORCH	516 SF
POOL HOUSE	363 SF
DETACHED GARAGE O.B.S.F.	384 SF
O.B.S.F. TOTAL	5,632 SF

LIVING O.F.S.F.	3,582 SF
GARAGE O.F.S.F.	554 SF
FRONT PORCH	79 SF
BACK PORCH	516 SF
POOL HOUSE O.F.S.F.	332 SF
DETACHED GARAGE O.F.S.F.	362 SF
O.F.S.F. TOTAL	5,425 SF

GENERAL NOTES

- ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
- VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION
- SET TOP OF SLAB HEIGHT AS REQUIRED FOR PROPER SITE DRAINAGE
- SLOPE ALL GRADES TOWARDS FRONT AND REAR PROPERTY LINES
- FENCING LOCATION TO BE VERIFIED WITH OWNER
- FINAL LOCATION OF RESIDENCE, DRIVES, SIDEWALKS, ETC. TO BE VERIFIED WITH OWNER
- VERIFY WITH OWNER / HVAC CONTRACTOR LOCATION OF A/C CONDENSING UNIT PADS.
- VERIFY ROOF SLOPES
- FIREPLACE SIZES TO BE VERIFIED, INCLUDING HEARTH EXTENSIONS VERIFIED BY CODE
- RIDGE VENTS TO BE INSTALLED AS REQUIRED FOR ATTIC. 1 PER 300 SQ. FT.
- CONTRACTOR IS TO FOLLOW LOCAL AND STATE CODES
- ALL GLAZING WITHIN 2'-0" OF EXTERIOR DOOR SHALL BE TEMPERED GLASS
- ALL HVAC, PLUMBING AND ELECTRICAL WORK TO BE PERFORMED BY A LICENSE CONTRACTOR
- ALL FINISHED PICKED OUT BY OWNER
- ALL DOOR SIZES TO BE VERIFIED BY OWNER
- ALL WINDOW SIZES TO BE VERIFIED BY OWNER
- ATTIC ACCESS TO BE VERIFIED BY OWNER
- THIS PLAN IS DESIGNED FOR INTENDED USE OF JAMES HARDE CORNIS PACKAGE. CONTACT BUILDER/CONTRACTOR FOR VERIFICATION AND APPROVAL. ANY QUESTIONS ON PRODUCT CALL 806.224.5710

PROJECT: LOT 95 SEDONA

BUILDER: MATT VANCE

DATE: 08/27/24
PROJECT NO: 24-035

REVISION DATE

NOTES:

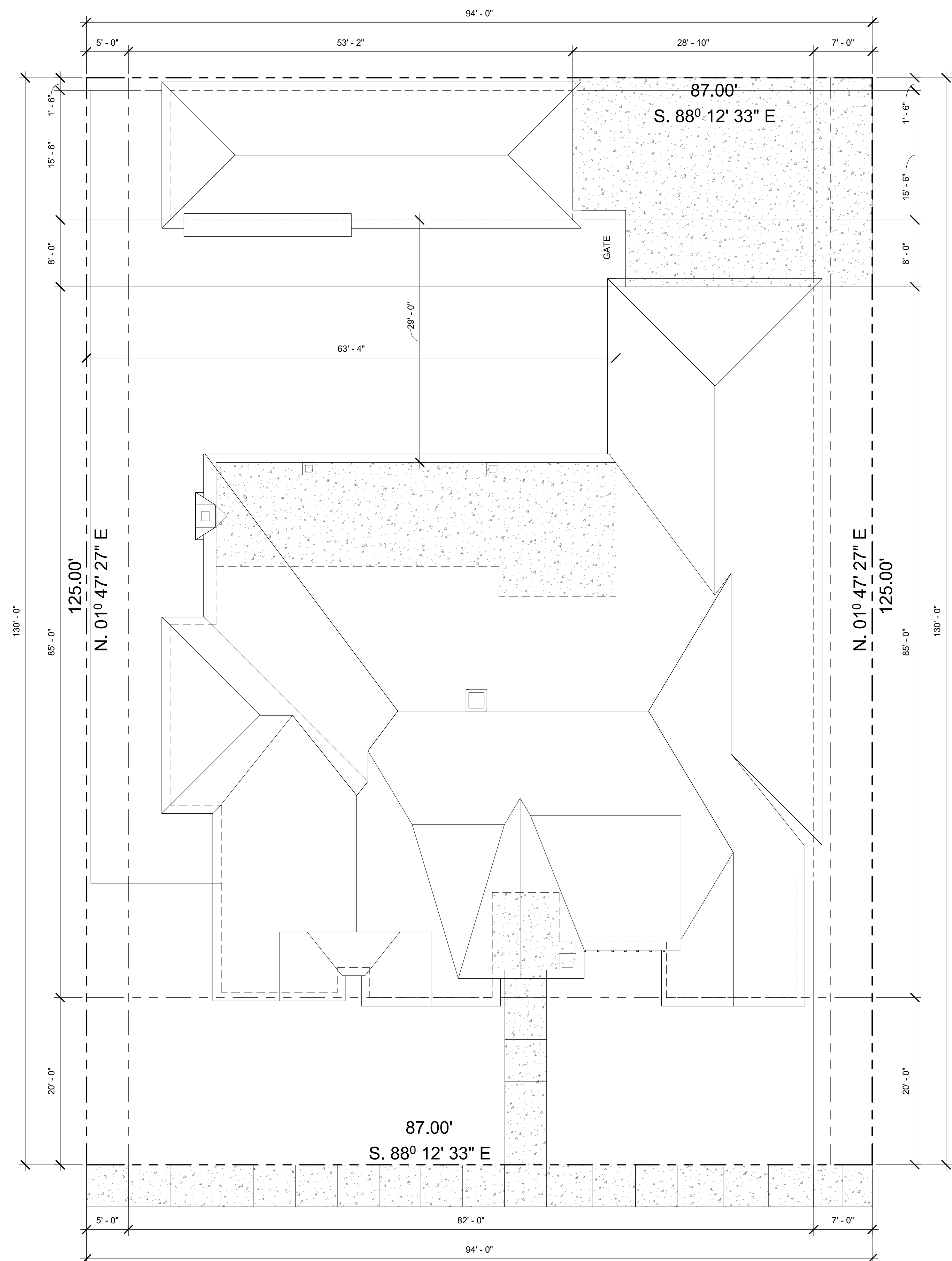
PLAN USE AGREEMENT
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SITE PLAN

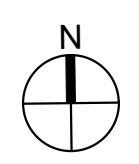
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SHEET: 24" X 36"

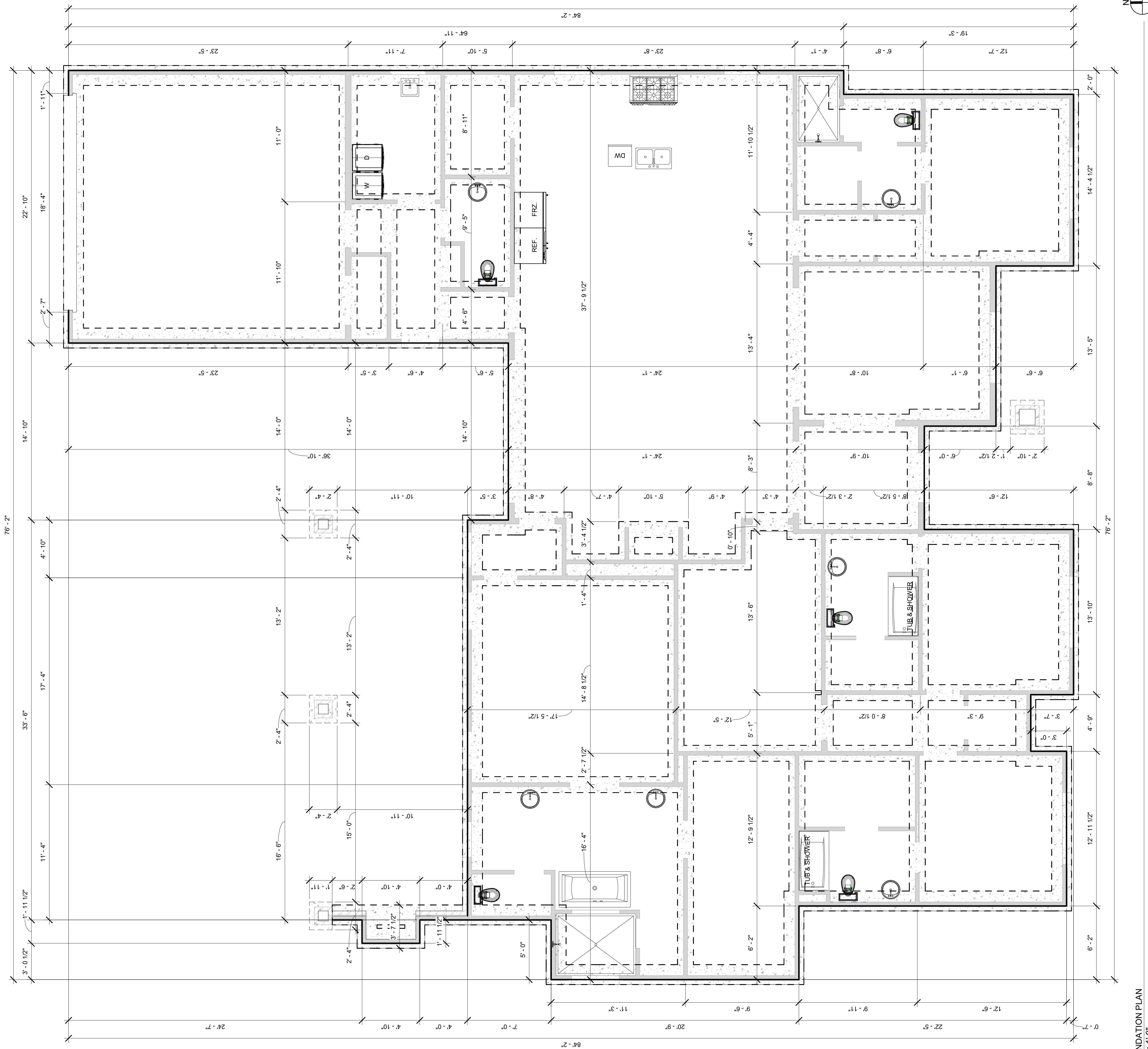
A1.0

DRAWN BY: AG



1 - SITE PLAN
1/8" = 1'-0"





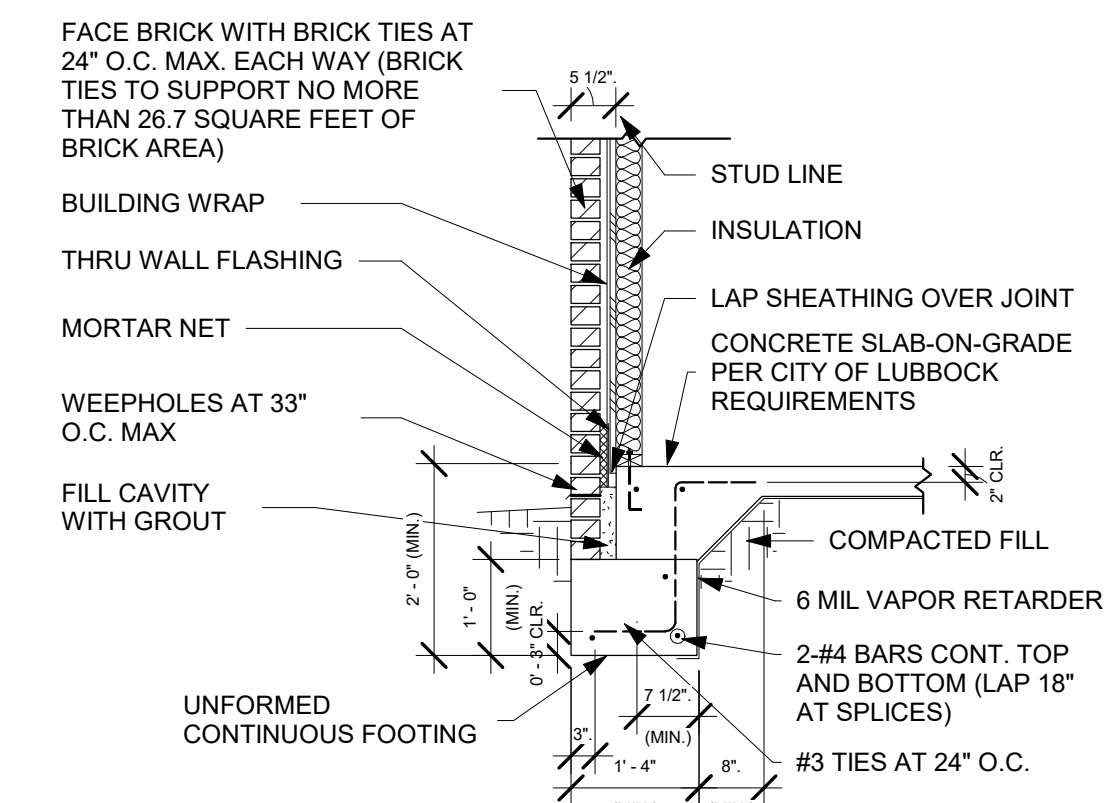
FOUNDATION PLAN
1/4" = 1'-0"

GENERAL NOTES

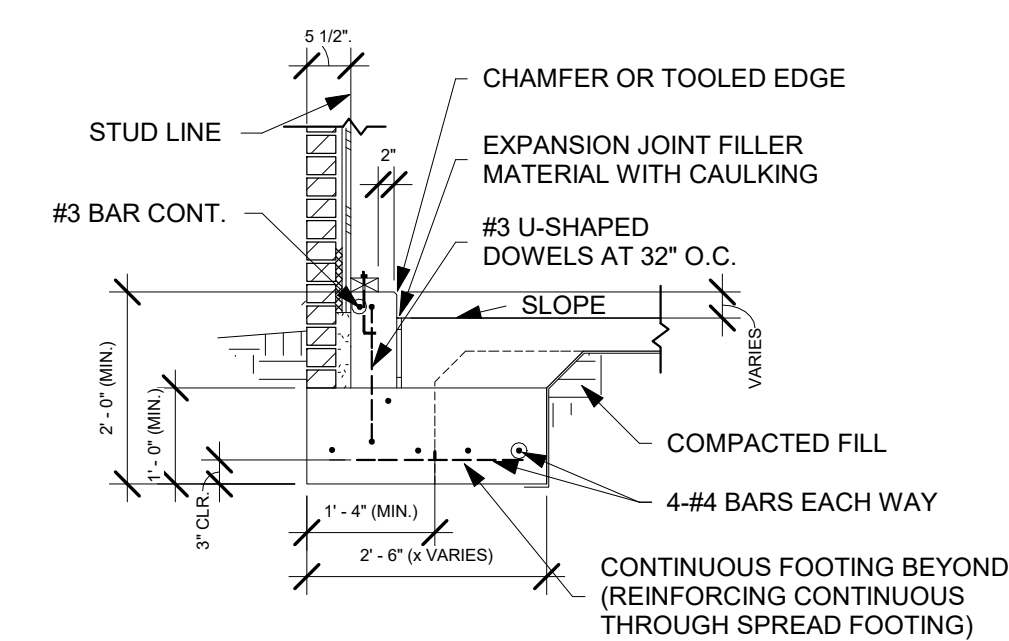
1. ALL ELECTRICAL, PLUMBING, & HVAC WORK TO BE PERFORMED BY A LICENSE CONTRACTOR.
2. CONCRETE TO BE 3000 PSI W/#3 @ 16" O.C.E.W. OR FIBERMESH. GARAGE FLOOR TO BE POURED SEPARATELY AND SLOPE 1/4" PER 1'-0" AWAY FROM RESIDENT.
3. FLATWORK TO SLOPE 1/4" PER 1'-0" AWAY FROM RESIDENT.
4. ALL SHOWER FLOORS TO BE RECESSED 3-1/2" INCHES, UNLESS OTHERWISE NOTED

FOUNDATION NOTES

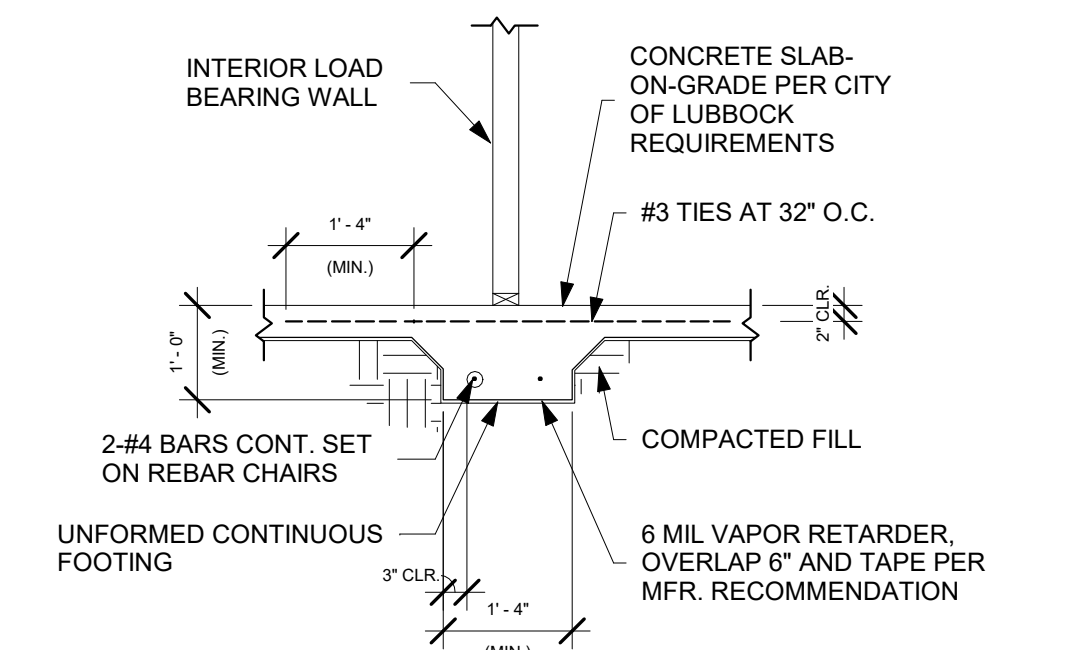
1. ALL CONCRETE IS 3000 PSI W/ POLYPROPYLENE FIBERMESH. POLYPROPYLENE FIBERMESH CAN NOT REPLACE REBAR.
2. ADD 5%-6% AIR ENTRAINMENT TO EXTERIOR CONCRETE.
3. REBAR LARGER THAN #3 GRADE 60.
4. COMPACT SUBGRADE: 95% MIN STD PROCTOR.
5. 4" TYPICAL SLAB THICKNESS (NOT 3 1/2").



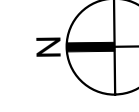
2 TYP. TWO-POUR COMBINATION EXTERIOR FOOTING
1/2" = 1'-0"



3 TWO-POUR SPOT FOOTING AT GARAGE DOOR OPENING
1/2" = 1'-0"



4 CONTINUOUS FOOTING FOR INTERIOR LOAD BEARING WALL
1/2" = 1'-0"



GENERAL NOTES

1. ALL ELECTRICAL, PLUMBING & HVAC WORK TO BE PERFORMED BY A LICENSED CONTRACTOR.
2. ALL FINISHES SELECTED BY OWNER.
3. VERIFY ALL DOOR HEIGHTS.
4. VERIFY ALL WINDOW SIZES.
5. VERIFY ATTIC STAIR LOCATION. INSTALL PER MANUFACTURERS INSTRUCTIONS.

HEADER SCHEDULE

SPAN	SIZE
4'-0" TO 4'-11"	2- 2x6'S
5'-0" TO 6'-6"	2- 2x8'S
6'-7" TO 8'-3"	2- 2x10'S
8'-4" TO 10'-0"	2- 2x12'S

- NOTES:
1. ALL HEADERS SPANNING 10'-0" OR GREATER NEED AN ENGINEERED BEAM.
 2. ALL HEADERS AT FIRST FLOOR OF TWO STORY HOUSE TO BE 2- 2x12'S WHEN THERE IS A FLOOR ABOVE, UNLESS OTHERWISE NOTED.
 3. USE O.S.B. BLOCKS AS HEADER FILLERS UNLESS LOCAL CODE REQUIRES CONTINUOUS O.S.B. FILLER.

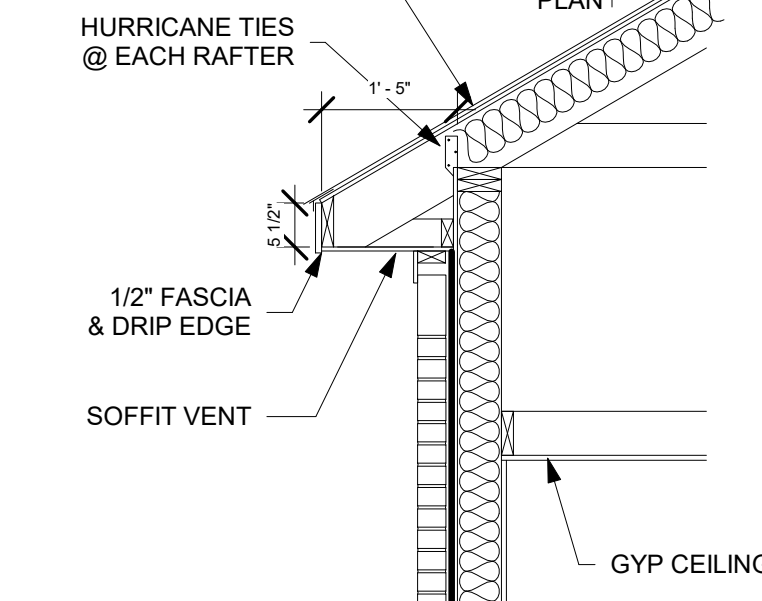
WALL BRACING

- AS INDICATED BY: (X)
- A. BRACED WALL PANEL FOR ONE STORY AND TWO STORY APPLICATIONS. MINIMUM 4'-0"
 - B. ALTERNATE BRACED WALL PANEL FOR ONE STORY APPLICATIONS. 2'-8" TO 4'-0"
 - C. SIMPSON STRONGWALL 18", 24", 32"
 - D. FIELD- FABRICATED PORTAL FRAME SYSTEM

NOTE:

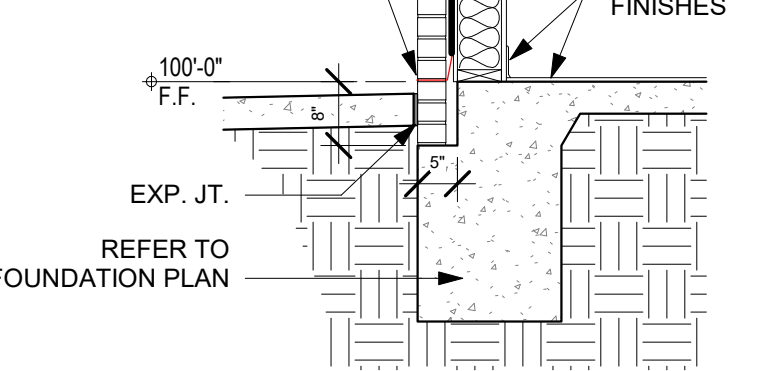
ALL STRUCTURAL FRAMING AND FOUNDATION SHALL BE SIZED ACCORDING TO LOCAL BUILDING CODES

ROOFING MATERIAL SELECTED BY OWNER OVER 15# FELT OVER 1/2" OSB DECK 2x6 RAFTERS @ 16" O.C.



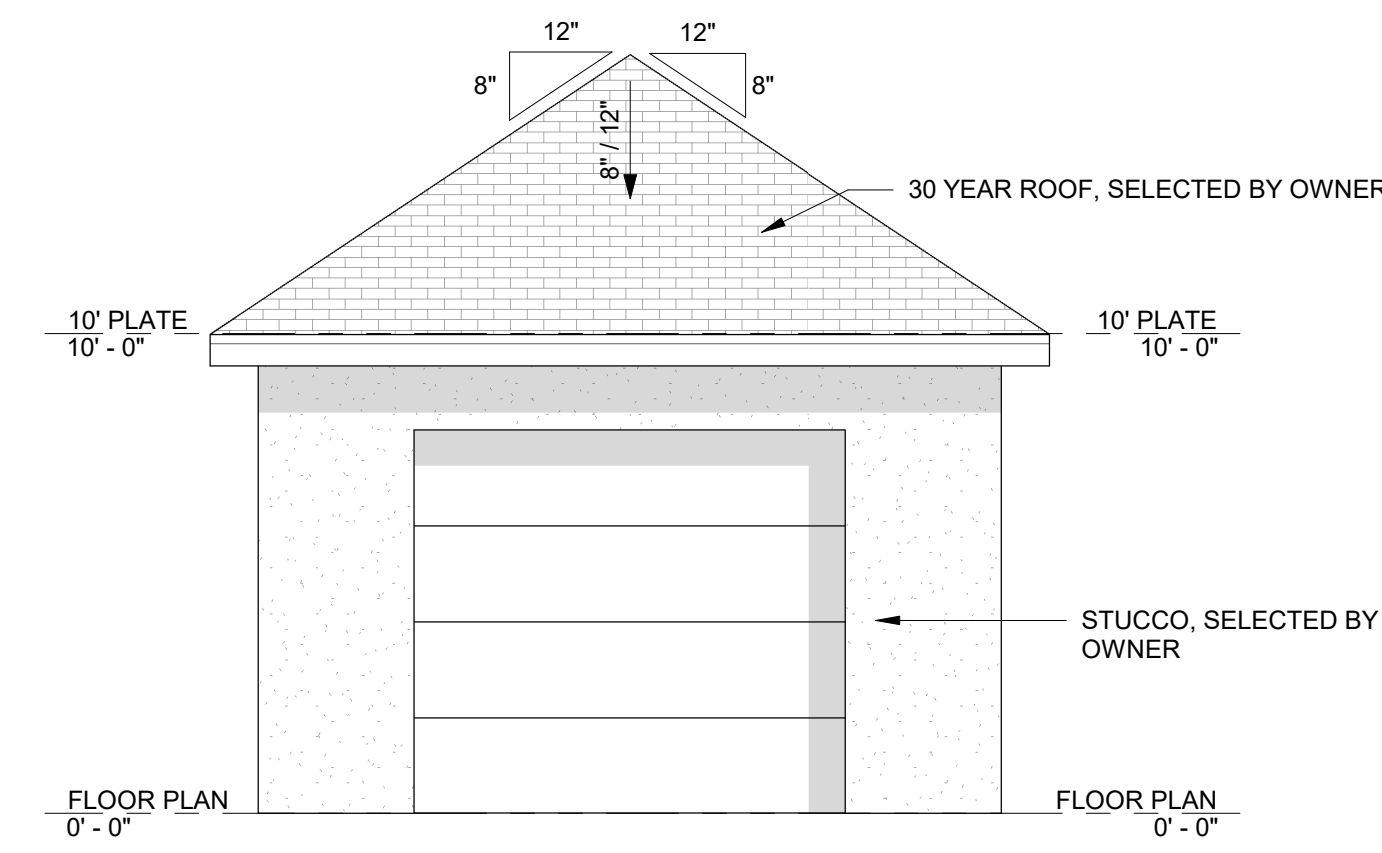
MASONRY VENEER W/ BRICK TIES @ 16" O.C. E.W. OVER AIR GAP OVER MOISTURE BARRIER OVER 1/2" GYP SHEATHING

CONT THRU WALL FLASHING W/ WEEP HOLES & WICKS @ 48" O.C.

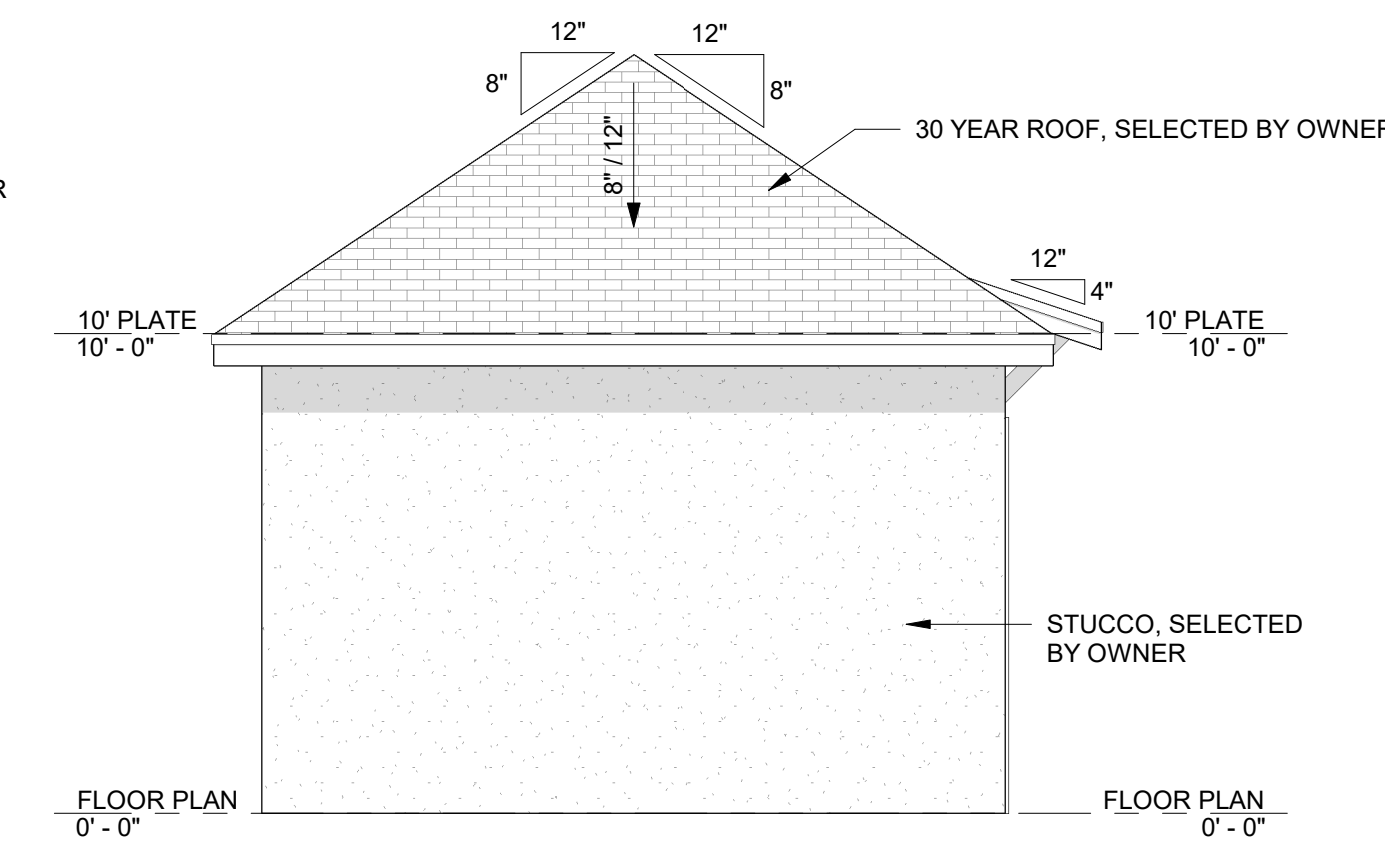


1 TYPICAL EXTERIOR WALL SECTION
1/2" = 1'-0"

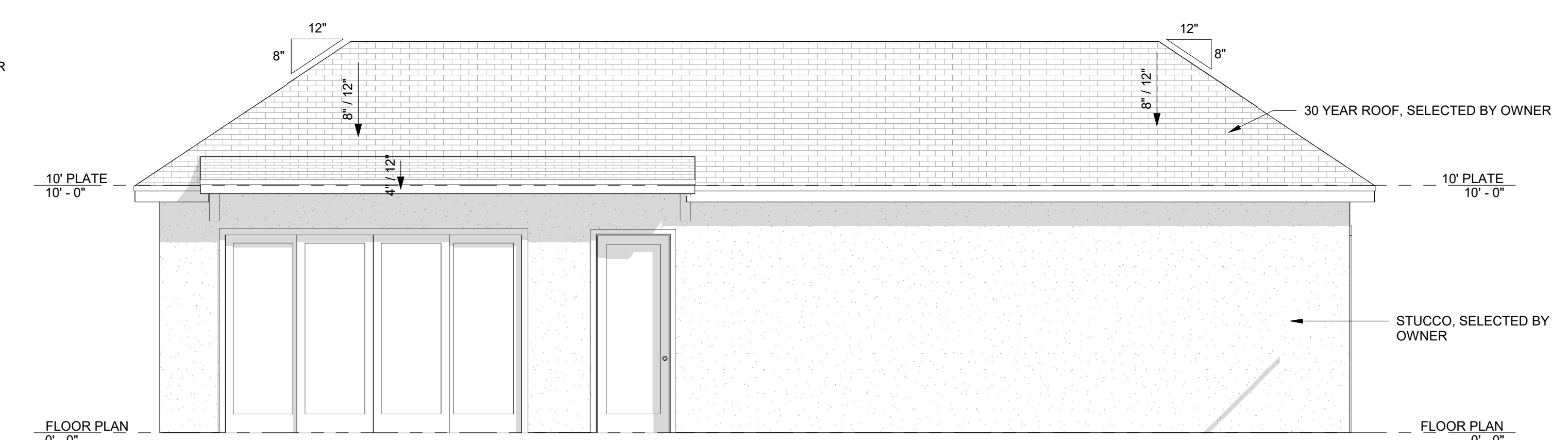
3 - FIRST FLOOR
1/4" = 1'-0"



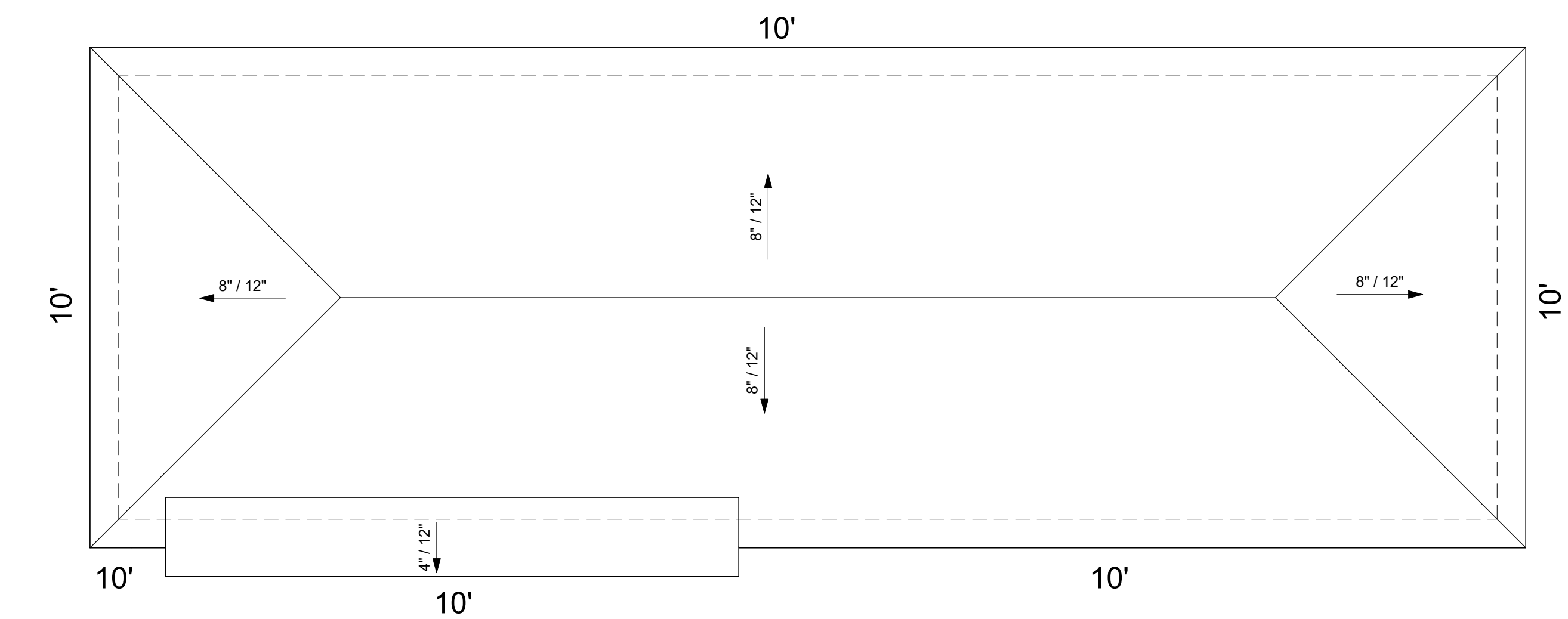
7 POOL HOUSE - RIGHT
1/4" = 1'-0"



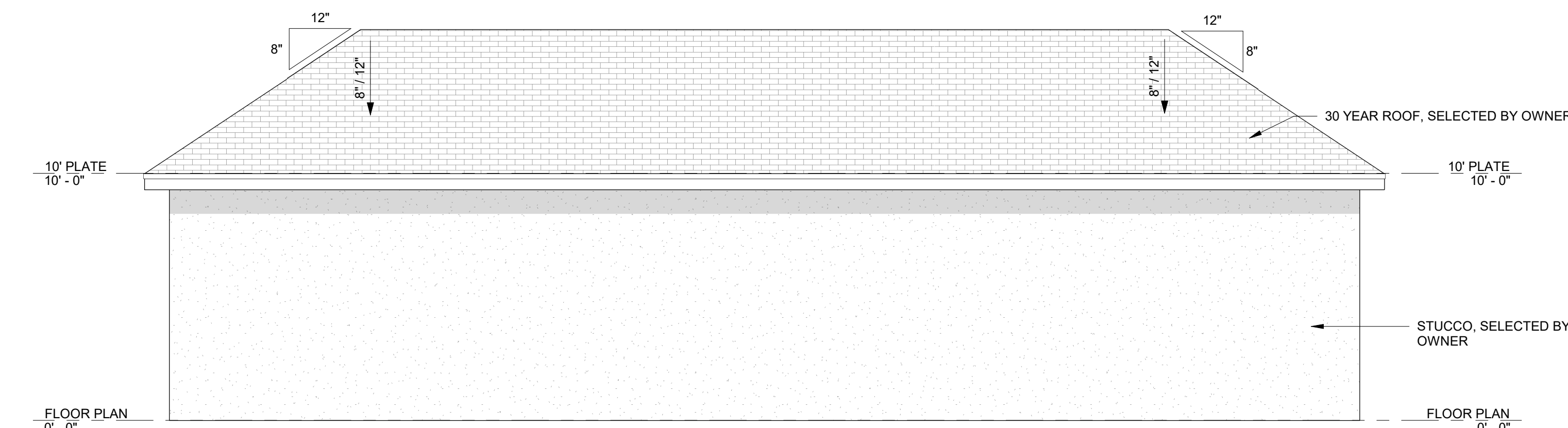
8 POOL HOUSE - LEFT
1/4" = 1'-0"



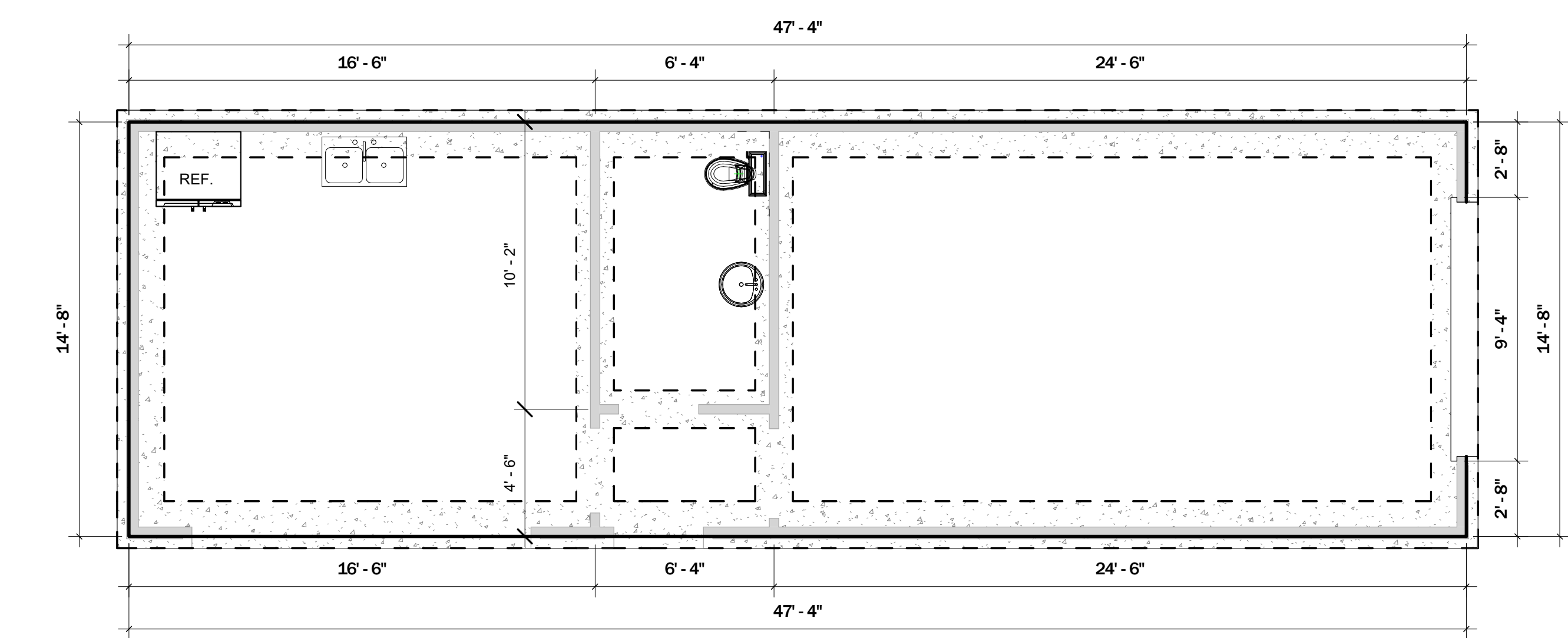
5 POOL HOUSE - FRONT
1/4" = 1'-0"



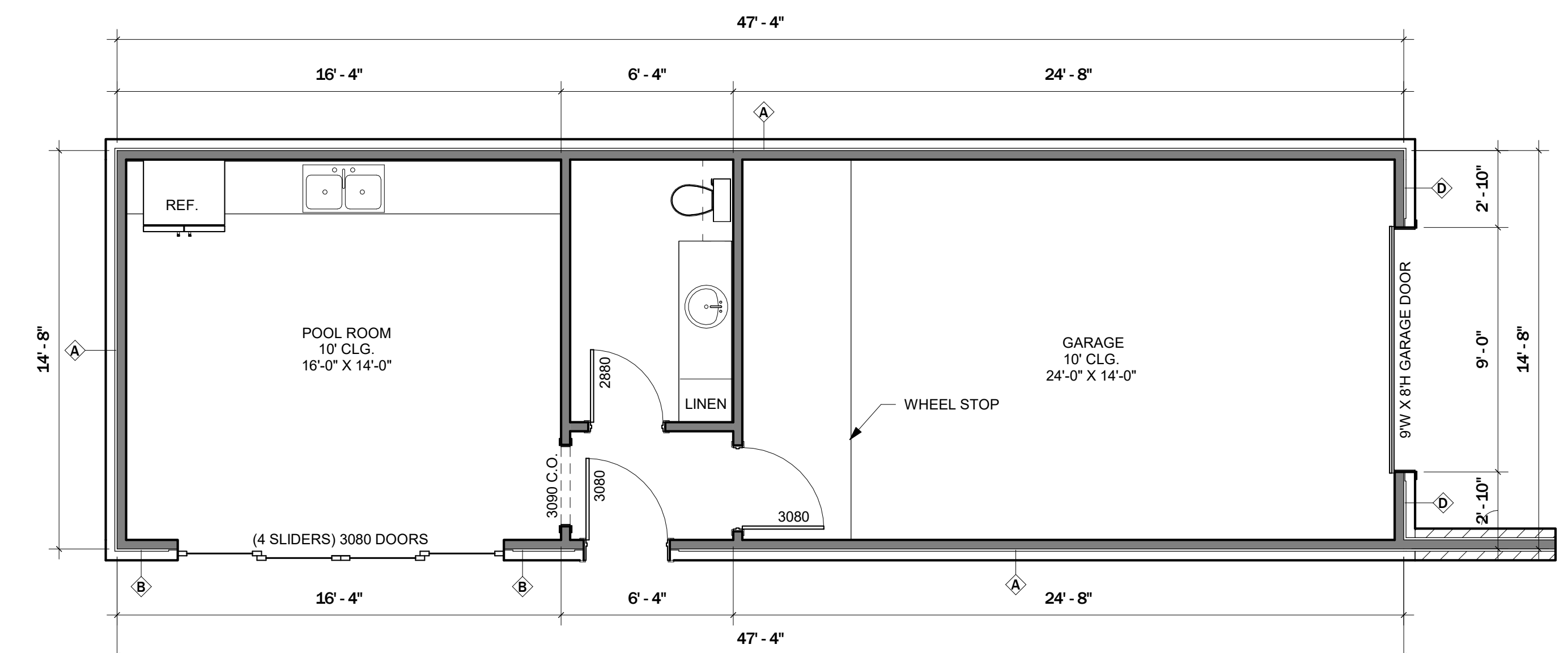
4 - POOL HOUSE ROOF PLAN
1/4" = 1'-0"



6 POOL HOUSE - BACK
1/4" = 1'-0"



1 FOUNDATION PLAN
1/4" = 1'-0"



2 3 - POOL HOUSE
1/4" = 1'-0"

PROJECT:
LOT 95 SEDONA

DATE: 08/27/24
PROJECT NO: 24-035

REVISION DATE

NOTES:

PLAN USE AGREEMENT
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POOL HOUSE

SCALE: 1/4" = 1'-0"
SHEET: 24" X 36"

A3.1

DRAWN BY: AG

PROJECT:
LOT 95 SEDONA

DATE: 08/27/24
PROJECT NO: 24-035
REVISION DATE

BUILDER:
MATT VANCE

NOTES:

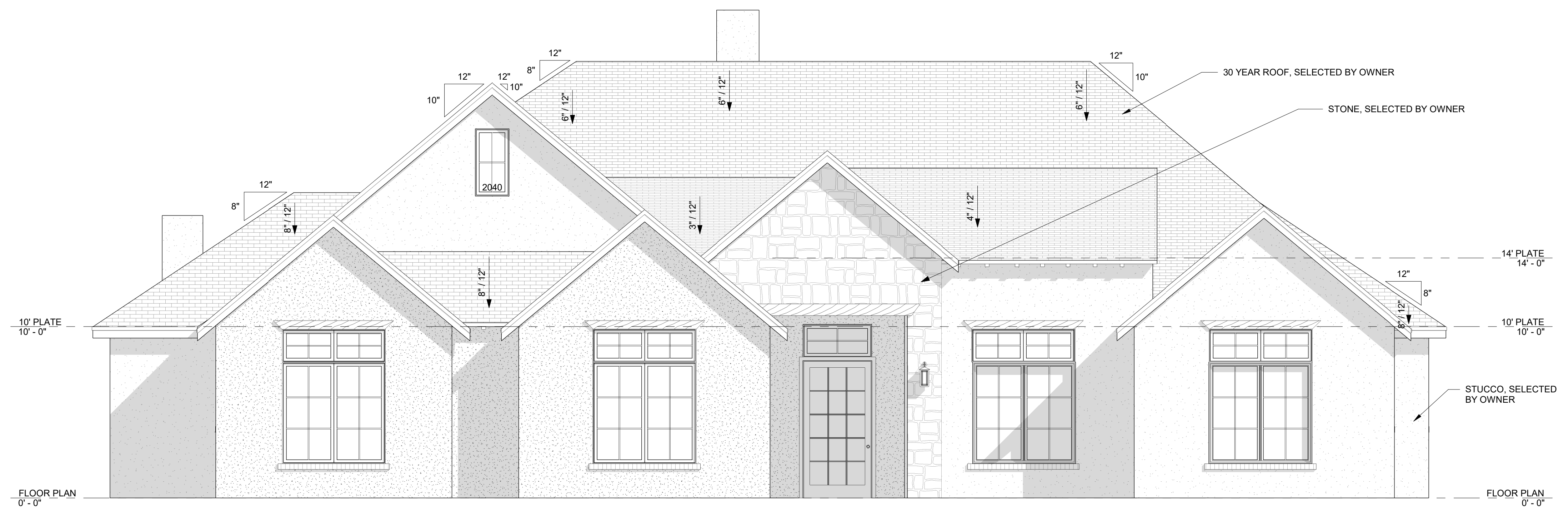
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ELEVATIONS

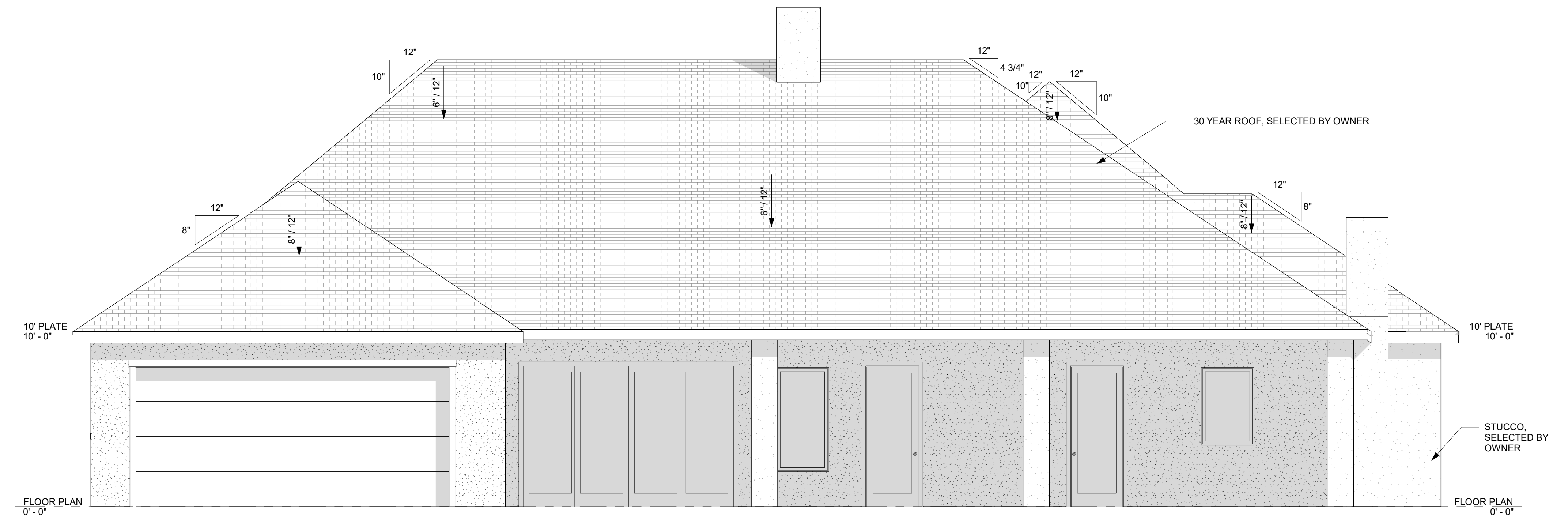
SCALE: 1/4" = 1'-0"
SHEET: 24" X 36"

A4.0

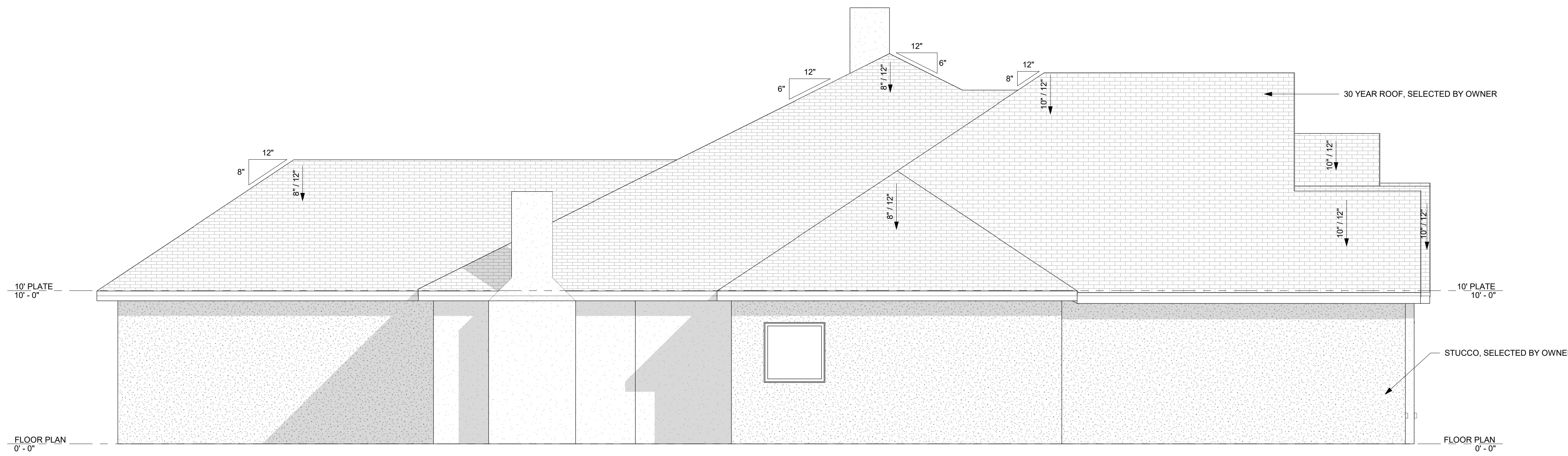
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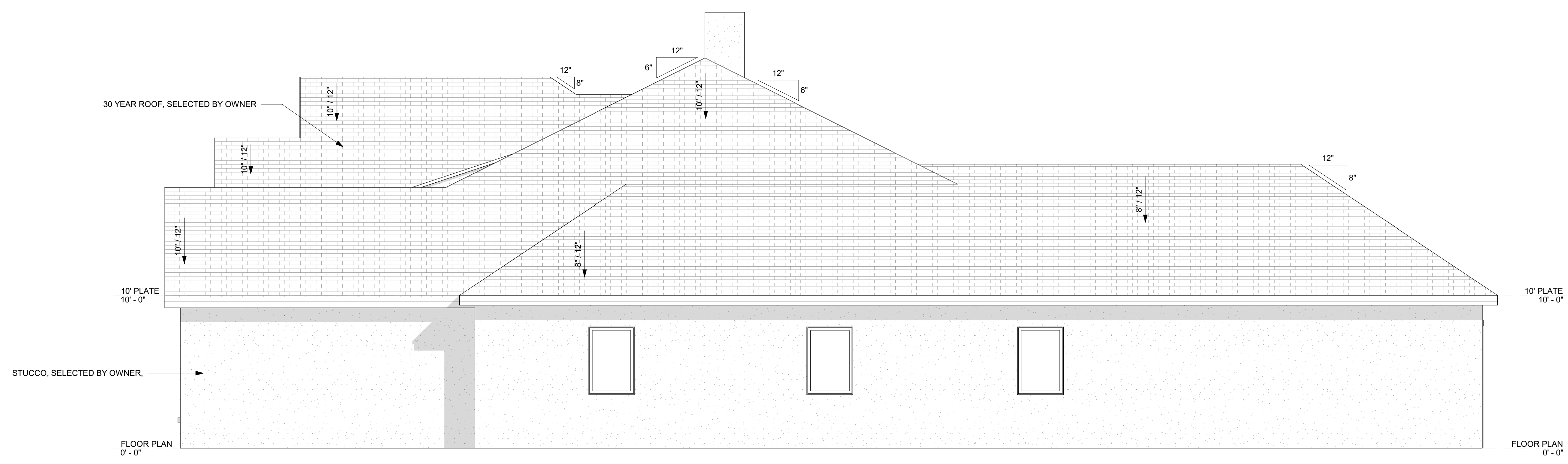
① FRONT
1/4" = 1'-0"



② BACK
1/4" = 1'-0"



① LEFT
1/4" = 1'-0"



② RIGHT
1/4" = 1'-0"

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REVISION: _____ DATE: _____

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ELEVATIONS

SCALE: 1/4" = 1'-0"
SHEET: 24" X 36"

A4.1

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LOT 95 SEDONA

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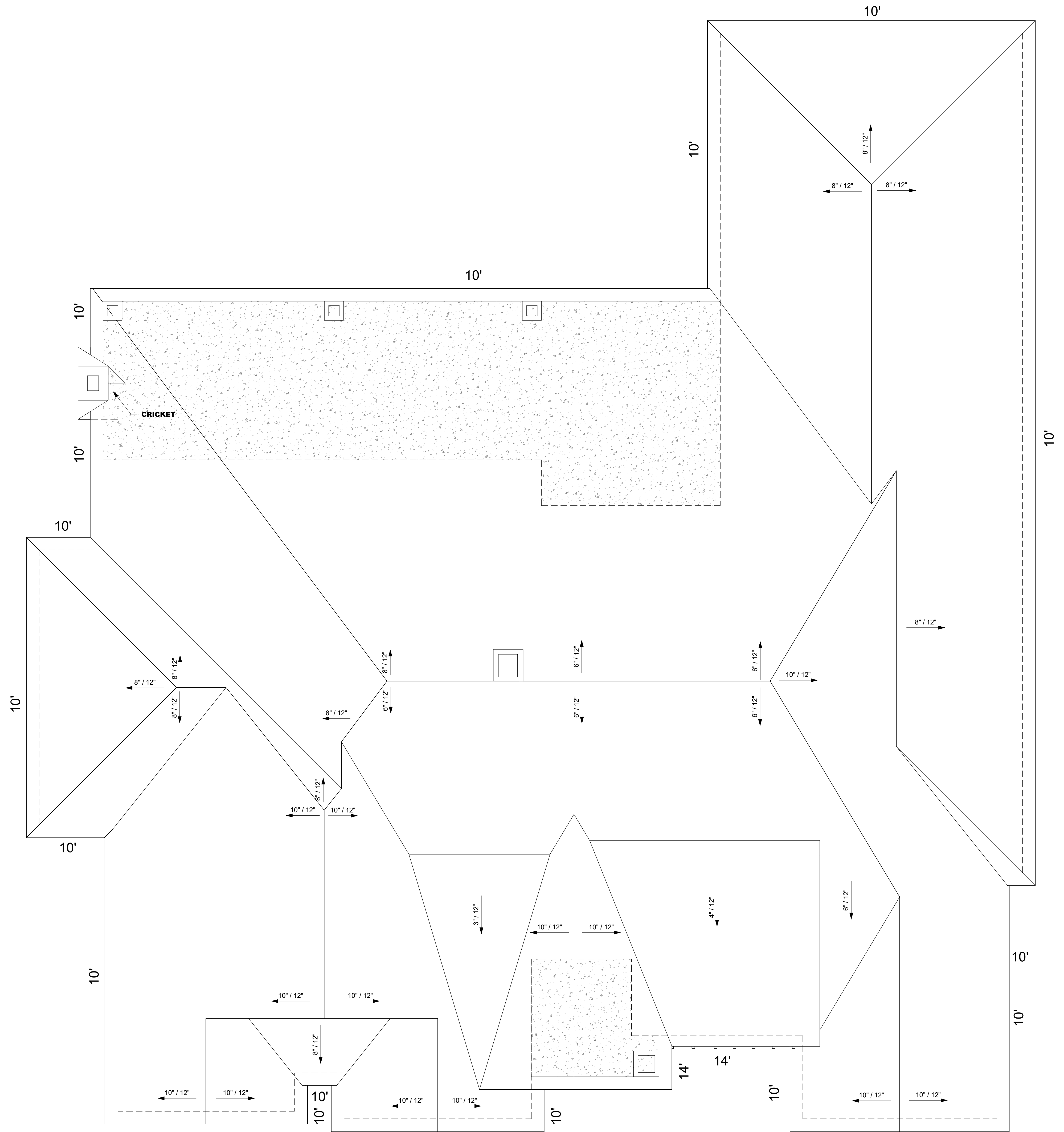
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ROOF PLAN

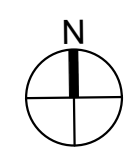
SCALE: 1/4" = 1'-0"
SHEET: 24" X 36"

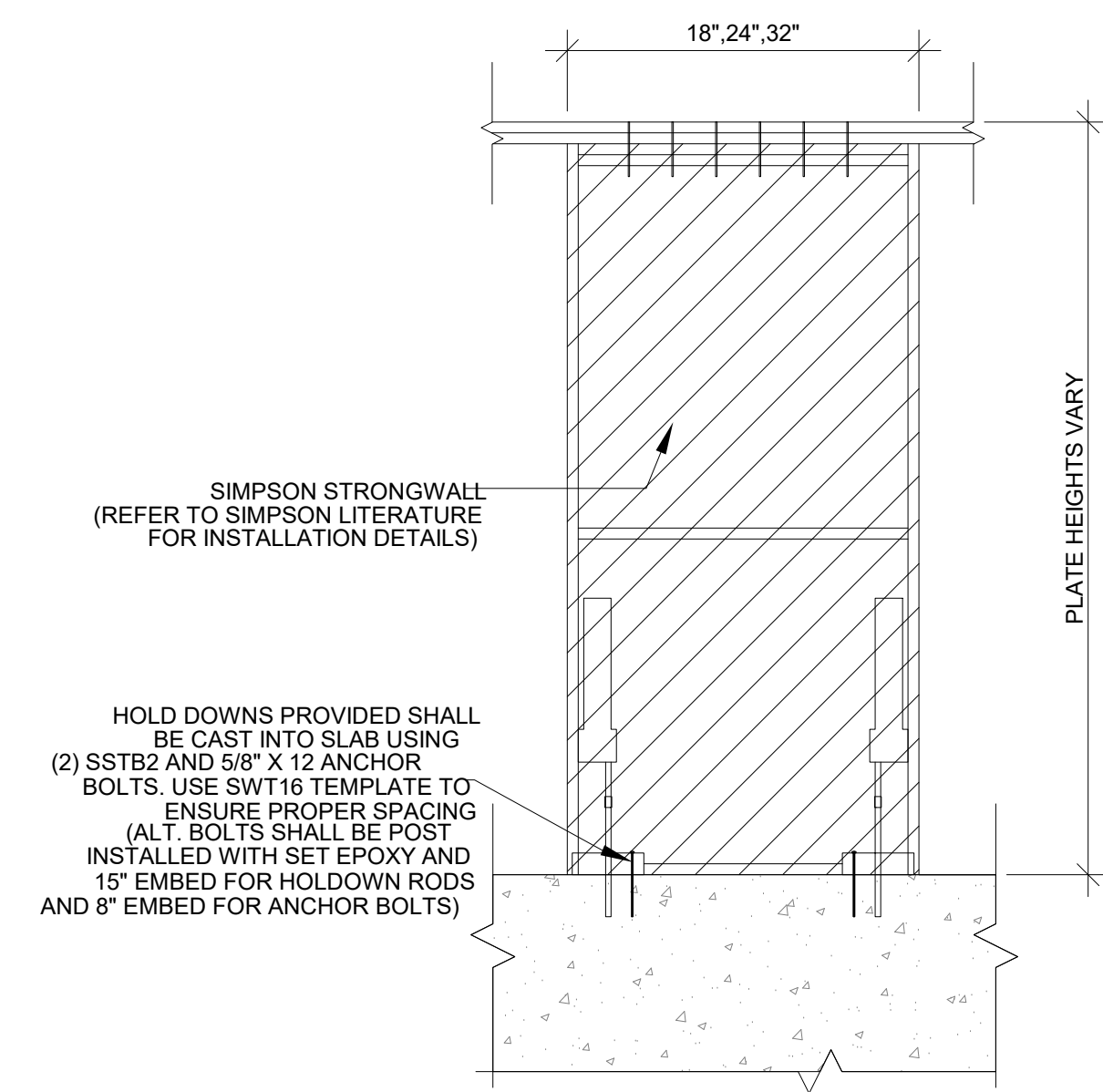
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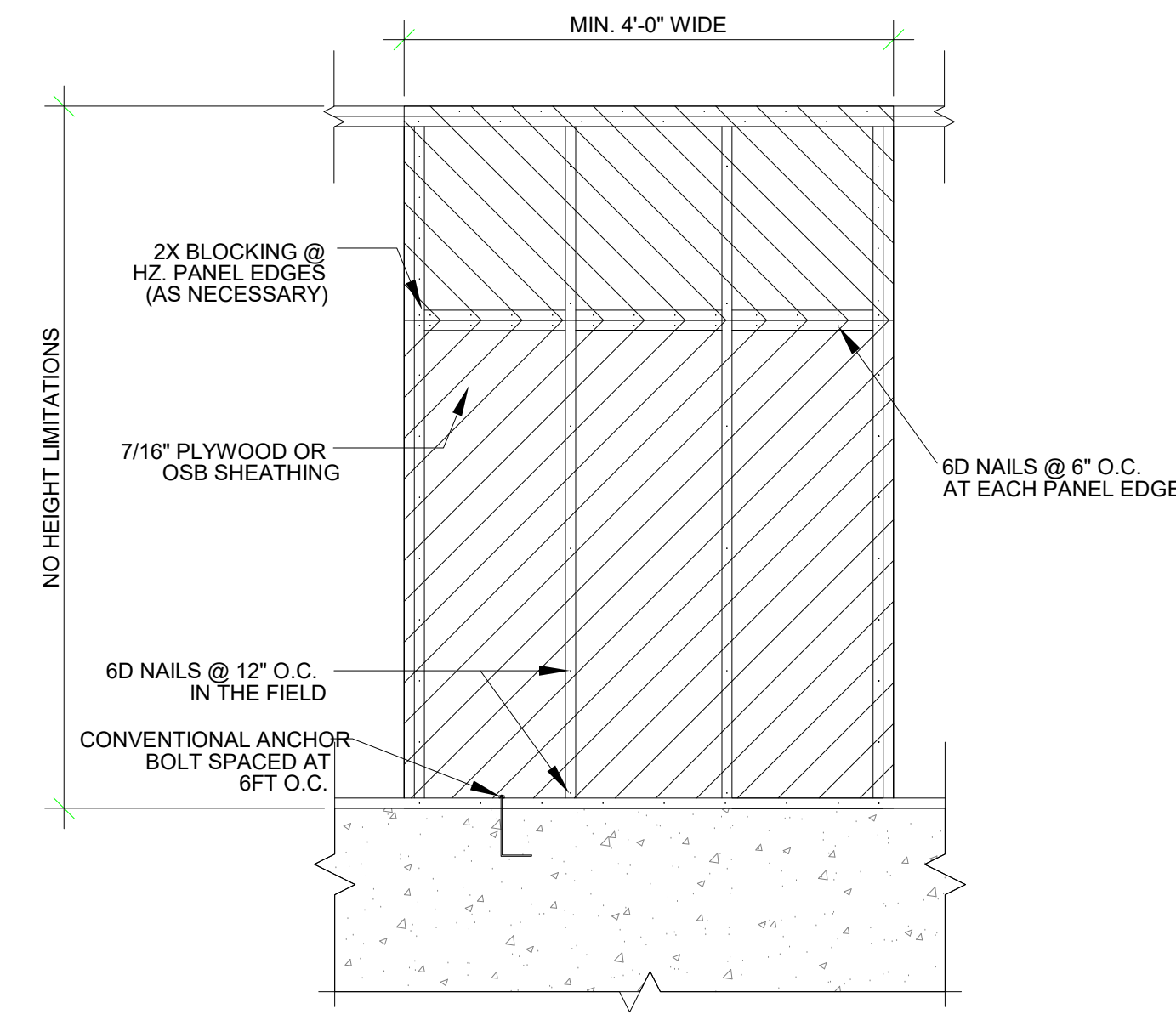


① 4 - ROOF PLAN
1/4" = 1'-0"

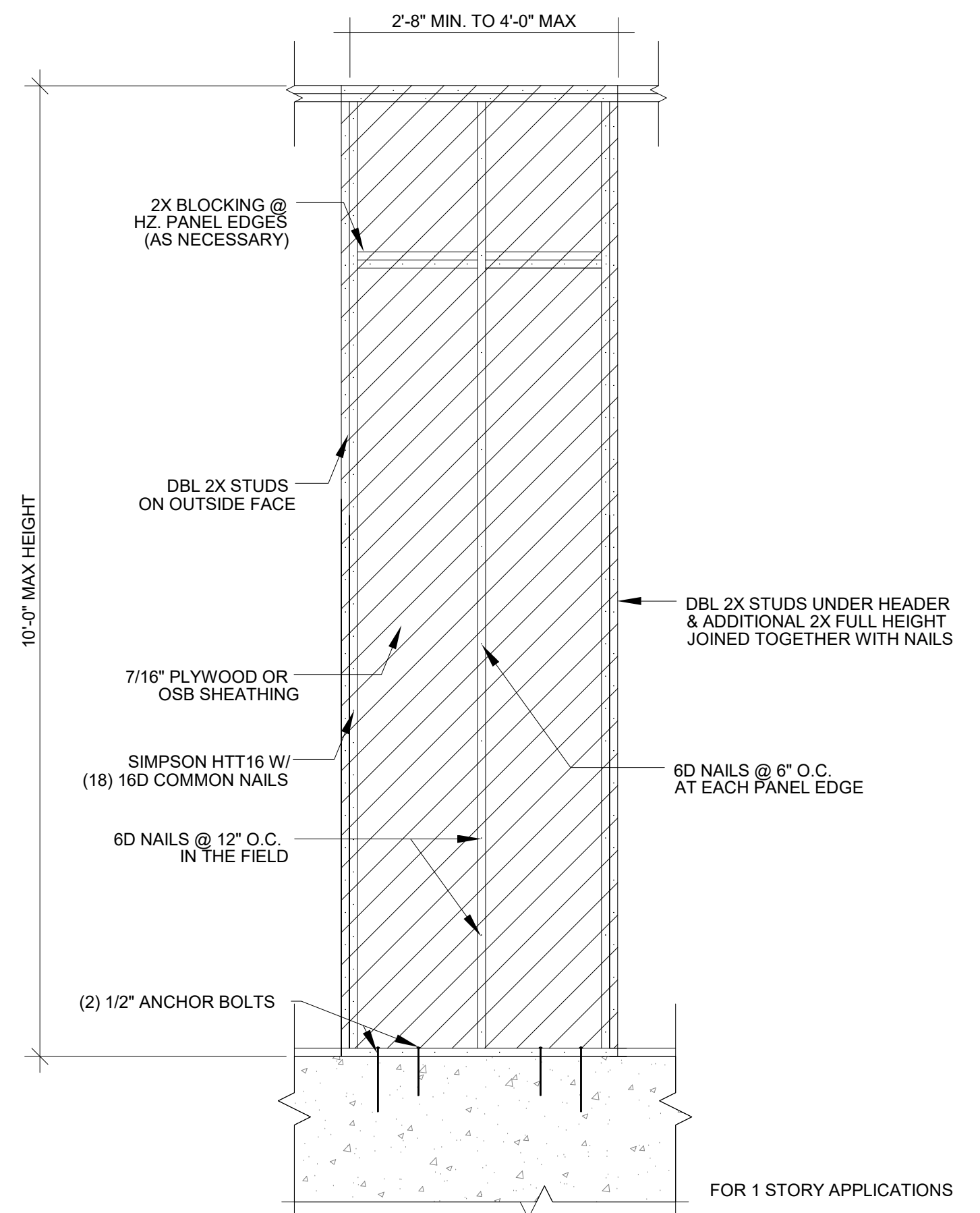




③ SIMPSON STRONGWALL
3/4" = 1'-0"

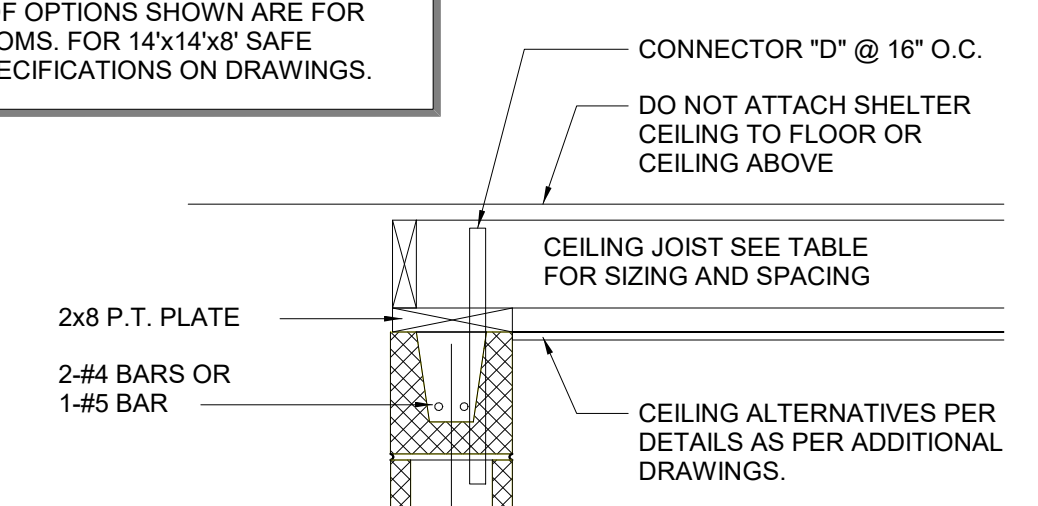


② BRACED WALL PANEL (METHOD 3)
3/4" = 1'-0"



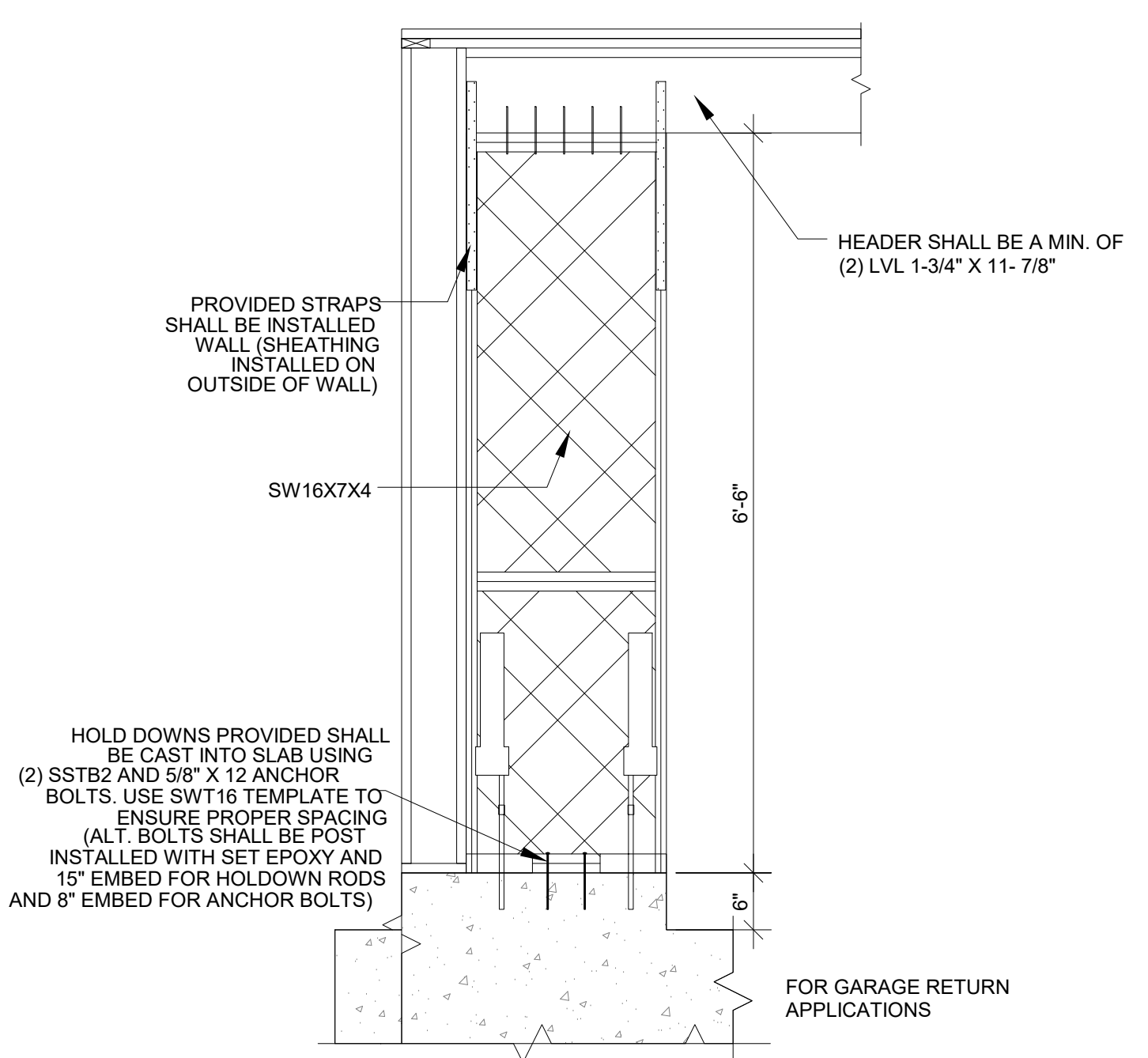
① ALTERNATE BRACED WALL PANEL
3/4" = 1'-0"

NOTE:
CONCRETE ROOF OPTIONS SHOWN ARE FOR 8'x8' SAFE ROOMS. FOR 14'x14' SAFE ROOMS, SEE SPECIFICATIONS ON DRAWINGS.



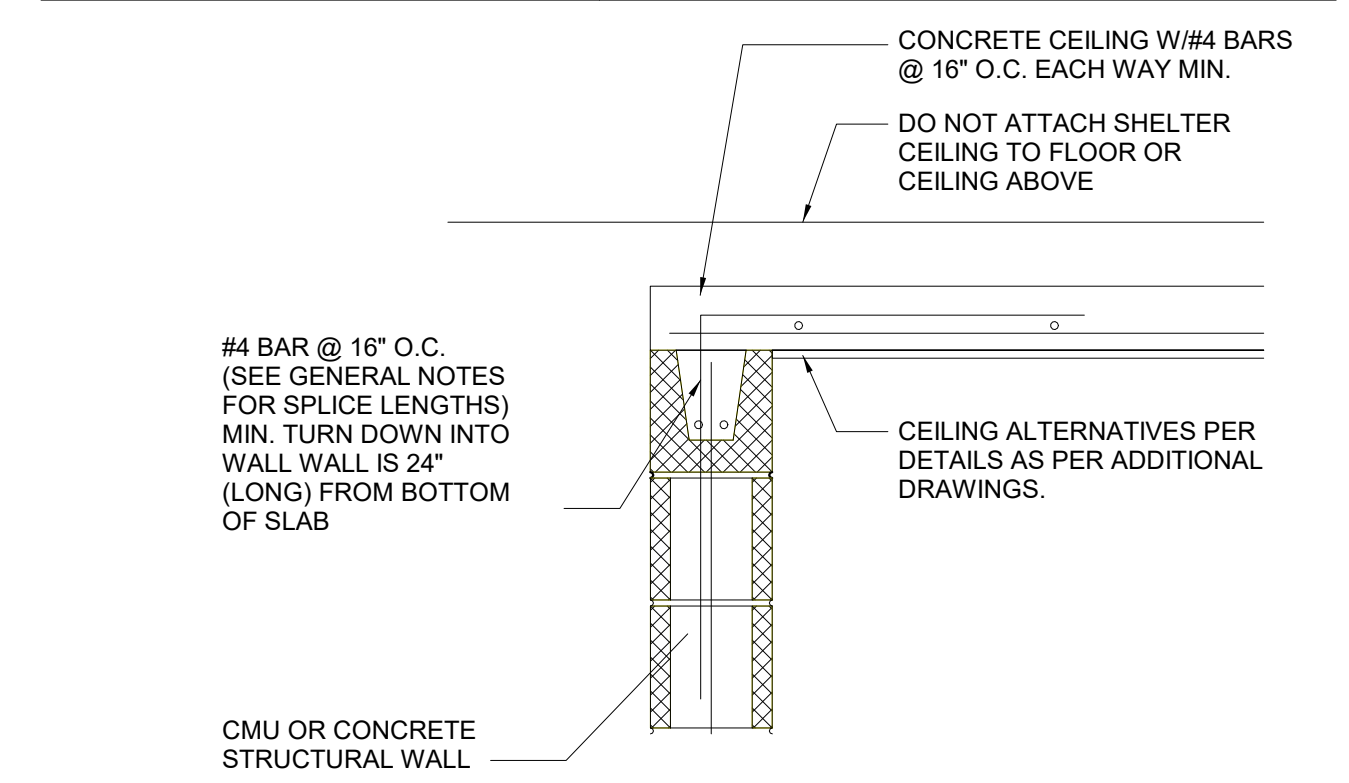
WOOD JOIST CEIL.	
MAX. SPAN	MAX. JOIST SPACING
8'	2-2"x6" @ 19-1/4" O.C.
14'	2-2"x10" @ 16" O.C.

⑩ TYPICAL WALL/CEILING CONNECTION FRAMING ALTERNATIVE
1" = 1'-0"



④ SIMPSON SW16X7X4
3/4" = 1'-0"

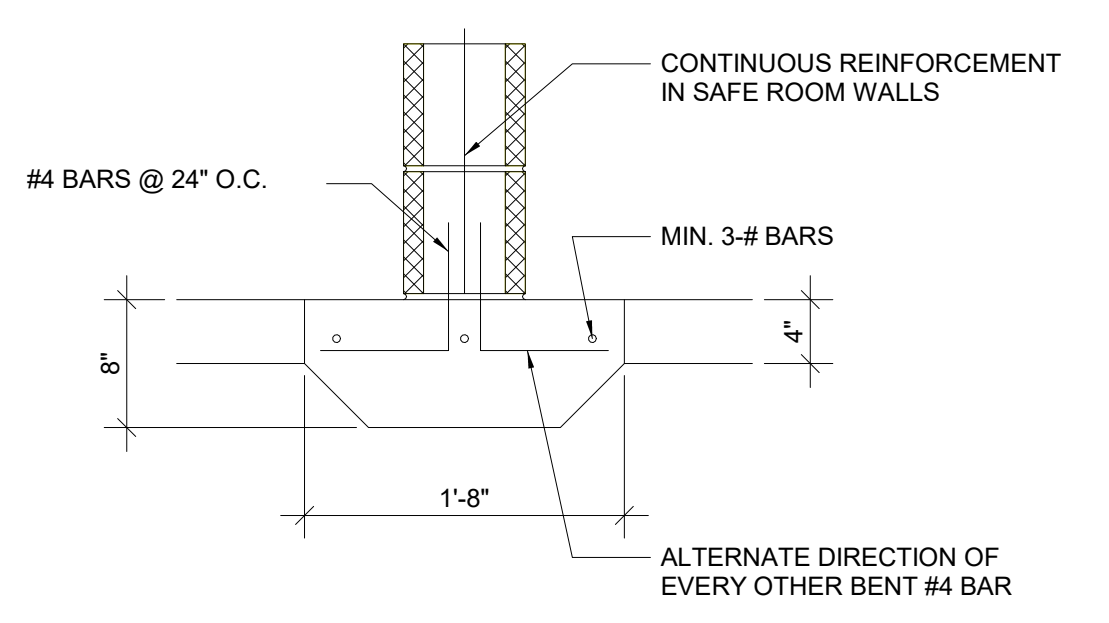
TYPE OF CONST.	MAX. FLOOR ELEVATION
CONCTETE	5'
CMU	5'
WOOD W/CMU INFILL	5'
WOOD W/STEEL SHEATHING	3'



⑦ TYPICAL WALL/CEILING CONNECTION FRAMING
1" = 1'-0"

NOTE:
WHEN PERMITTED BY CODE, A RETROFIT SAFE ROOM MAY BE ANCHORED TO AN EXISTING SLAB IF EXISTING SLAB IS FOUND TO HAVE ADEQUATE THICKNESS AND REINFORCING AT EACH CORNER AND EACH SIDE OF DOORWAYS MIN. AND AT A MIN. #4 BARS MUST BE DOWELED AND EPOXY SET INTO THE SLAB SUCH THAT THEY PROVIDE 1,000 LBS TENSILE AND CARRY 800 LBS SHEAR.

NOTE:
THE OVERALL HEIGHT OF THE SAFE ROOM CANNOT EXCEED THE SHORTEST PLAN DIMENSION BY 10% (I.E. IF THE SHELTER MEASURES 8'6" IN PLAN DIMENSION, THE MAX. OVERALL HEIGHT OF THE SHELTER IS 6'-7").



⑥ TYPICAL ANCHOR DETAIL FOR WALL
1" = 1'-0"

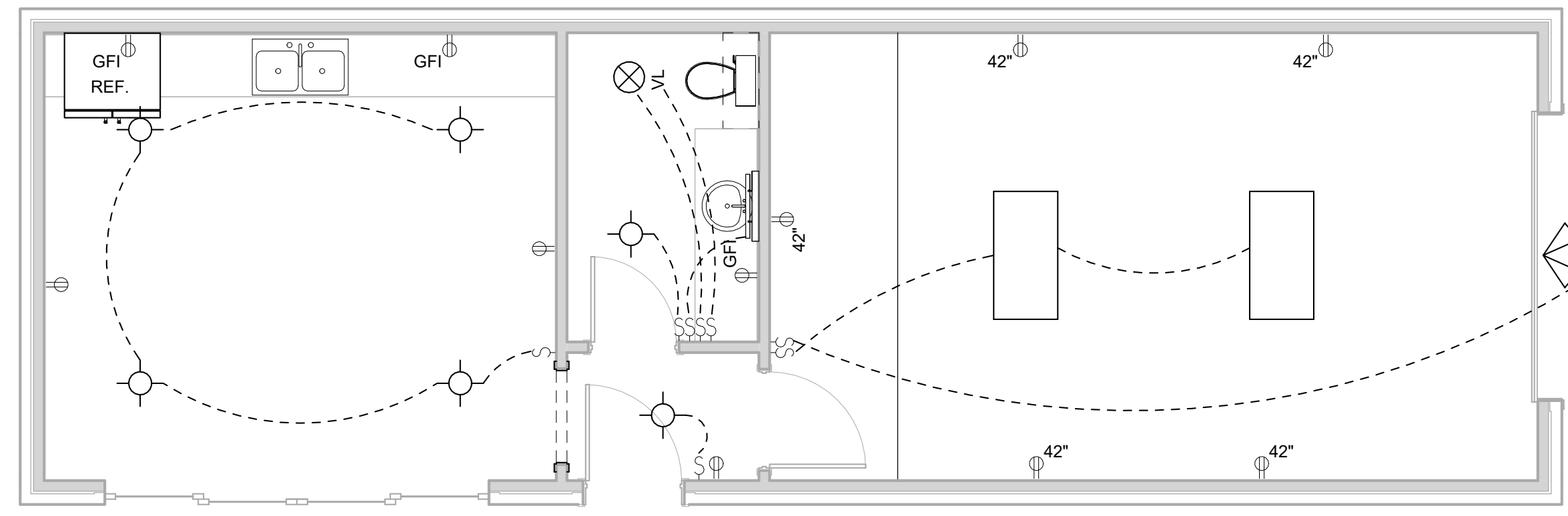
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DETAILS

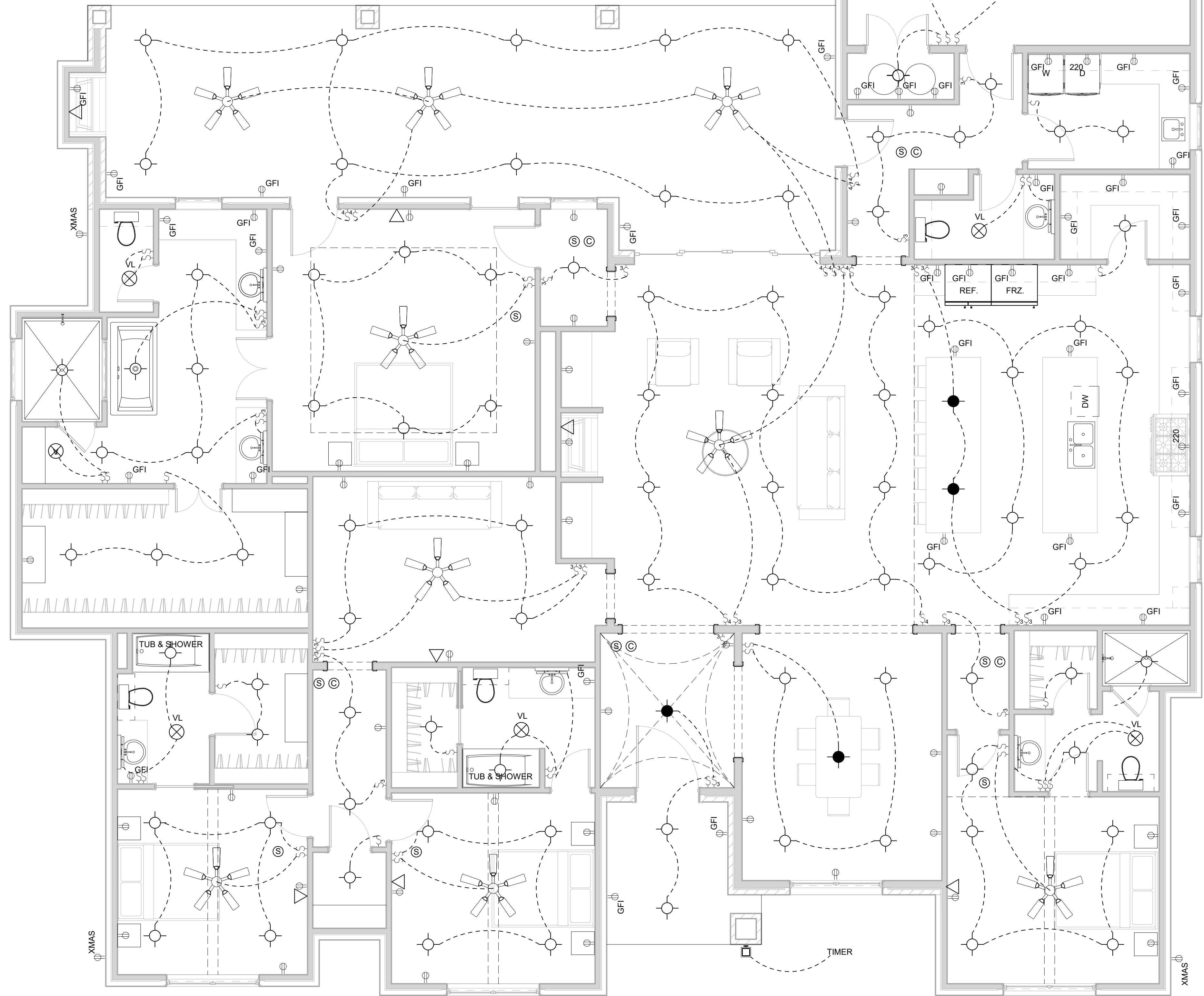
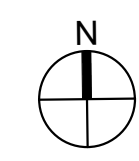
SCALE: As indicated
SHEET: 24" X 36"

D1.0

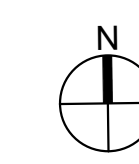
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② 5 - POOL HOUSE ELECTRICAL PLAN
1/4" = 1'-0"



① 5 - ELECTRICAL PLAN
1/4" = 1'-0"



GENERAL NOTES

1. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR
2. VERIFY SWITCHING & COMM LAYOUT WITH OWNER
3. VERIFY ALL POWER REQUIREMENTS FOR APPLIANCES, WATER HEATERS, HVAC UNITS, ELECTRIC FIREPLACE, ETC
4. PROVIDE AND INSTALL ATTIC LIGHTING AND POWER PER OWNER
5. ALL EXTERIOR OUTLETS TO BE WEATHER-PROOF
6. VERIFY ALL CABLE AND TELEPHONE JACKS WITH OWNER
7. ELECTRICAL LAYOUT IS SCHEMATIC ONLY, VERIFY ALL LOCATIONS WITH BUILDER/OWNER

LEGEND

- § LIGHT SWITCH
- §₃ 3-WAY LIGHT SWITCH
- §₄ 4-WAY LIGHT SWITCH
- ⊕ DUPLEX OUTLET
- ⊕ FLOOR DUPLEX OUTLET
- ⊕_{GFI} GFI DUPLEX OUTLET
- ⊕₂₂₀ 220 VOLT OUTLET
- ▽ DATA
- CAN LIGHT
- PENDANT MOUNTED LIGHT
- COACH LIGHT
- _{24"} WALL SCONCE LIGHT W/ MOUNTING HT.
- ▽ EAVE MOUNTED FLOOD LIGHT
- SURFACE MOUNTED LIGHT
- - - UNDER CABINET LIGHTING
- SOFFIT LIGHTING
- ⊗ VENT / LIGHT COMBO UNIT
- ⊕_{CF} CEILING FAN W/ LIGHT KIT
- ⊕_{CF} CEILING FAN
- Ⓢ Ⓞ SMOKE / CARBON DETECTOR

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ELECTRICAL PLANS

SCALE: 1/4" = 1'-0"
SHEET: 24" X 36"

E1.0

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