



SHEET INDEX

- SP1- SITE PLAN & ROOF PLAN
- SF- FOUNDATION PLAN & DETAILS
- A1- FIRST FLOOR PLAN
- A2- FRONT & BACK EXTERIOR ELEVATIONS
- A3- LEFT & RIGHT EXTERIOR ELEVATIONS
- E1- FIRST FLOOR ELECTRICAL PLAN

GROSS FLOOR AREAS

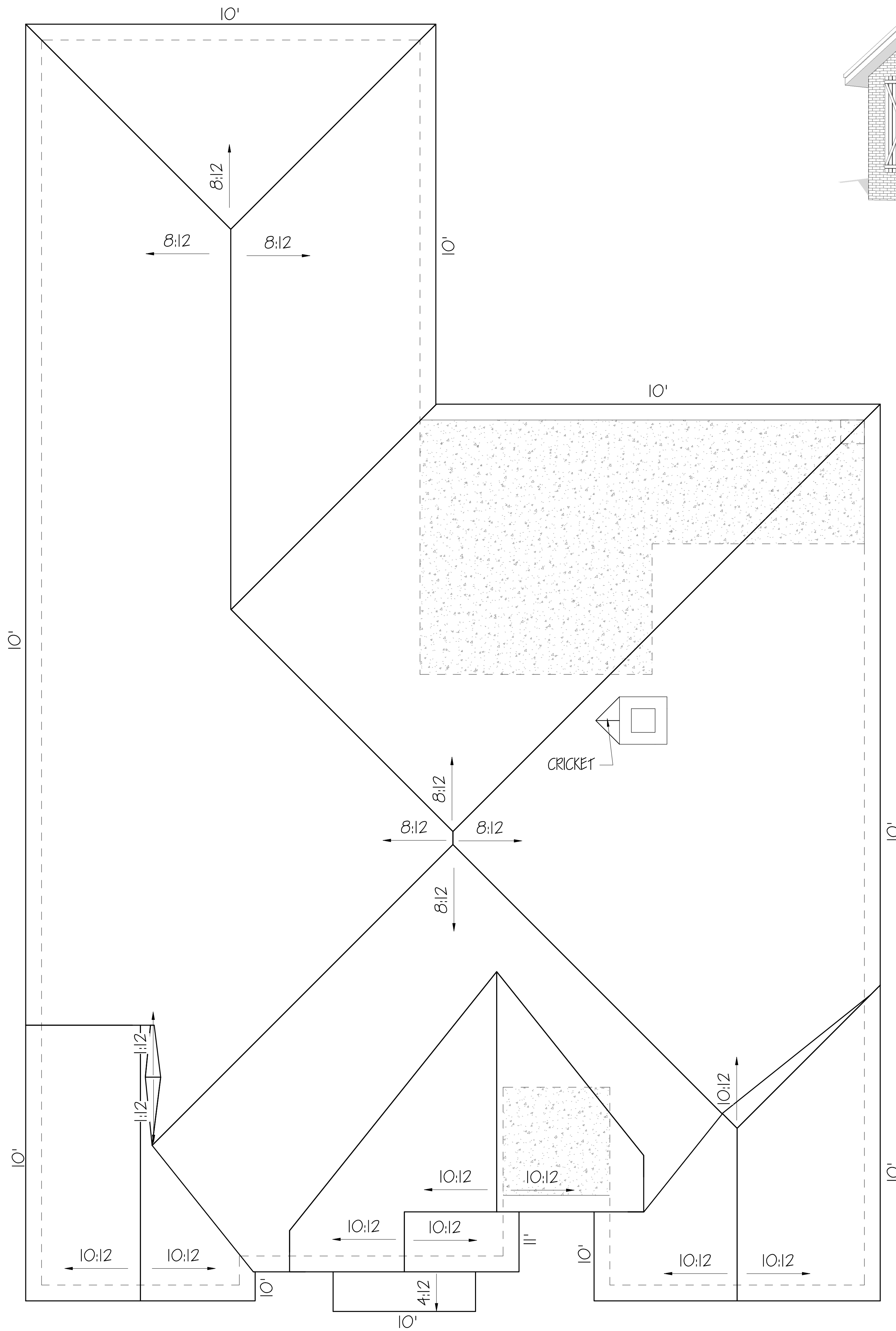
FIRST FLOOR:	2,322 O.B.S.F.
TOTAL LIVING:	2,322 O.B.S.F.
GARAGE AND STORAGE:	639 O.B.S.F.
PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,378 O.B.S.F.

FIRST FLOOR:	2,229 O.F.S.F.
TOTAL LIVING:	2,229 O.F.S.F.

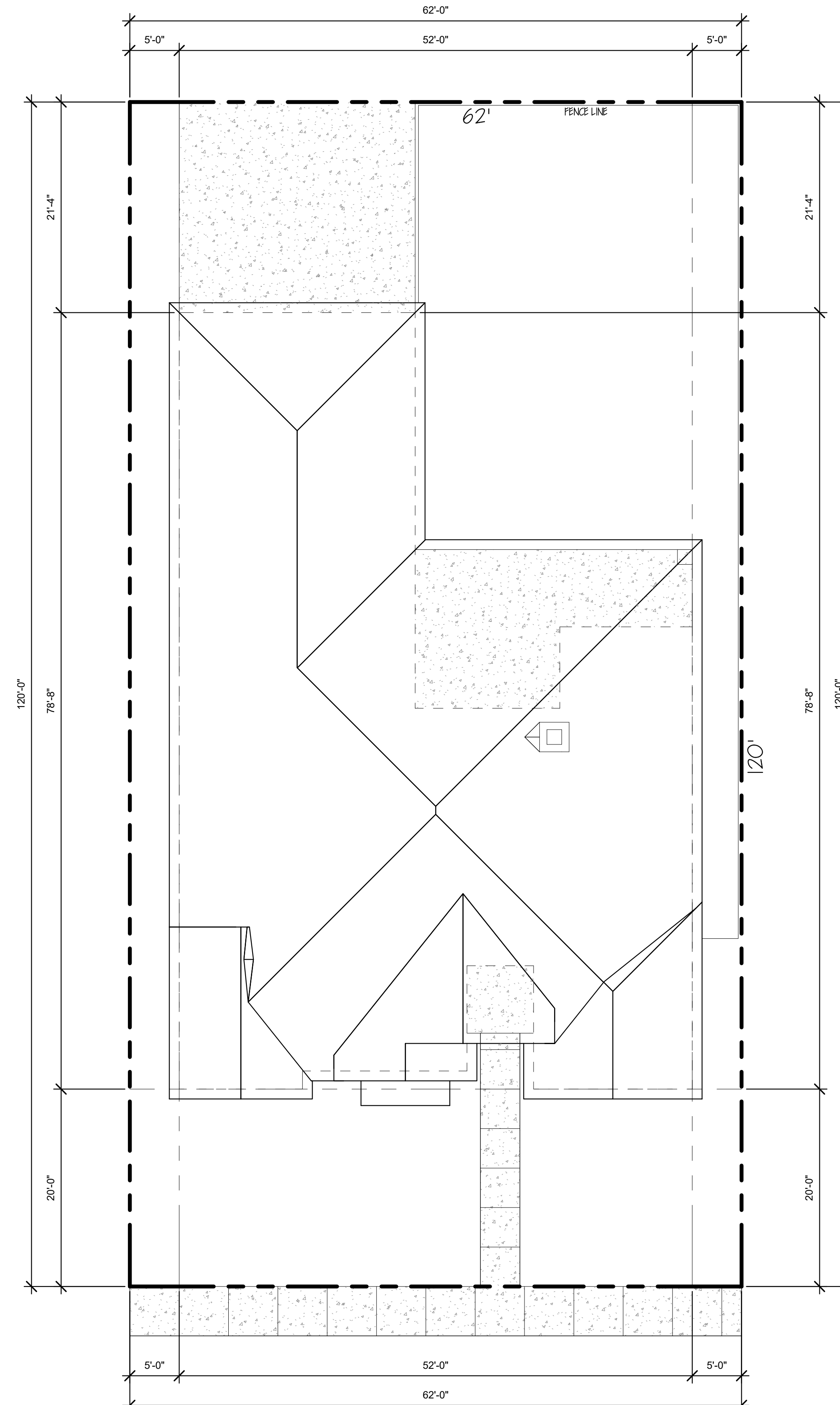
GARAGE AND STORAGE:	606 O.F.S.F.
PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,252 O.F.S.F.

NOTES

1. ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
2. VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION
3. SET TOP OF SLAB HEIGHT AS REQUIRED FOR PROPER SITE DRAINAGE.
4. SLOPE ALL GRASSES TOWARDS FRONT AND REAR PROPERTY LINES
5. FENCING LOCATION TO BE VERIFIED WITH OWNER
6. FINAL LOCATION OF RESIDENCE, DRIVES, SIDEWALKS, ETC. TO BE VERIFIED WITH OWNER
7. VERIFY WITH OWNER / HVAC CONTRACTOR LOCATION OF A/C CONDENSING UNIT PADS.
8. VERIFY ROOF SLOPES
9. FIREPLACE SIZES TO BE VERIFIED, INCLUDING HEARTH EXTENSIONS VERIFIED BY CODE
10. RIDGE VENTS TO BE INSTALLED AS REQUIRED FOR ATTIC. 1 PER 300 SQ FT.
11. CONTRACTOR IS TO FOLLOW LOCAL AND STATE CODES
12. ALL GLAZING WITHIN 2'-0" OF EXTERIOR DOOR SHALL BE TEMPERED GLASS
13. ALL HVAC PLUMBING AND ELECTRICAL WORK TO BE PERFORMED BY A LICENSE CONTRACTOR
14. ALL FINISHED FLOOR CUT BY OWNER
15. ALL DOOR SIZES TO BE VERIFIED BY OWNER
16. ALL WINDOW SIZES TO BE VERIFIED BY OWNER
17. ATTIC ACCESS TO BE VERIFIED BY OWNER



2 ROOF PLAN
1/4" = 1'-0"



1 SITE PLAN
1/8" = 1'-0"



Lot 123 Escondido
 Matt Vance Homes
 7614 54th St.
 Lubbock, TX 79407

Plan Use Agreement
 By using these plans builder/owner agrees to the following. These plans are the property of the drafting and design and are not to be traced, reproduced, or used for construction without written consent of the drafting and design. Builder/owner shall check and verify all drawings prior to construction.

Square Footages

FIRST FLOOR:	2,322 O.B.S.F.
TOTAL LIVING:	2,322 O.B.S.F.
GARAGE AND STORAGE:	639 O.B.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,378 O.B.S.F.
FIRST FLOOR:	2,229 O.F.S.F.
TOTAL LIVING:	2,229 O.F.S.F.
GARAGE AND STORAGE:	606 O.F.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,252 O.F.S.F.

Prelim Set #

Project number:
20-293

Date: 11.05.2020 **Issue:** CONSTRUCTION

REVISION	
REVISION 1	
REVISION II	
BID	

Sheet SP1

GENERAL NOTES

1. ALL ELECTRICAL, PLUMBING & HVAC WORK TO BE PERFORMED BY A LICENSED CONTRACTOR.
2. ALL FINISHES SELECTED BY OWNER.
3. VERIFY ALL DOOR HEIGHTS.
4. VERIFY ALL WINDOW SIZES.
5. VERIFY ATTIC SPACE LOCATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

HEADER SCHEDULE

SPAN	SIZE
4'-0" TO 4'-11"	2-2x6'S
5'-0" TO 6'-6"	2-2x8'S
6'-7" TO 8'-9"	2-2x10'S
8'-11" TO 10'-0"	2-2x12'S

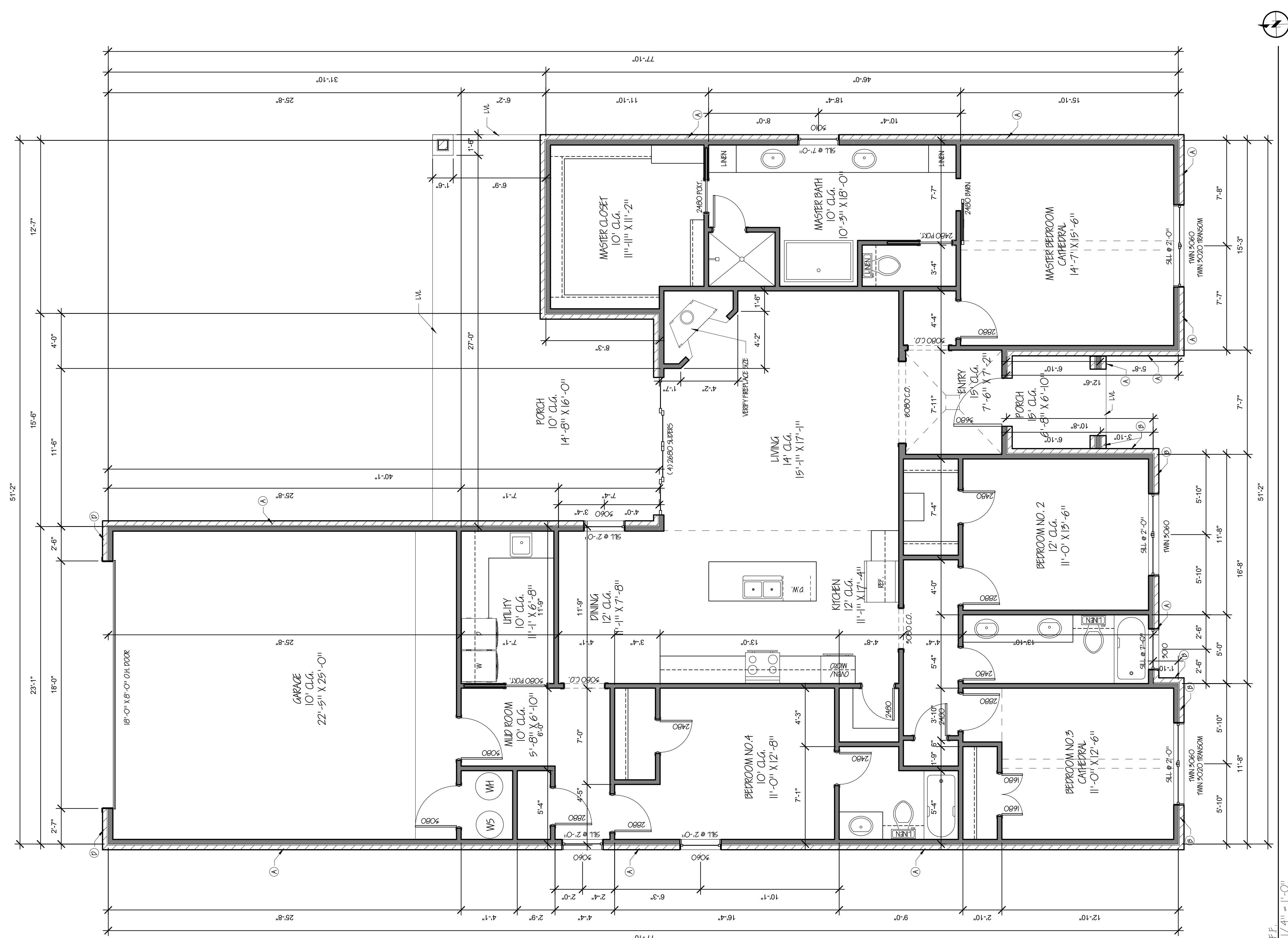
NOTES:

1. ALL HEADERS SPANNING 10'-0" OR GREATER NEED AN ENGINEERED BEAM.
2. ALL HEADERS AT FIRST FLOOR OF TWO STORY HOUSE TO BE 2-2x12'S WHEN THERE IS A FLOOR ABOVE, UNLESS OTHERWISE NOTED.
3. USE O.S.B. BLOCKS AS HEADER FILLERS UNLESS LOCAL CODE REQUIRES CONTINUOUS O.S.B. FILLER.

WALL BRACING

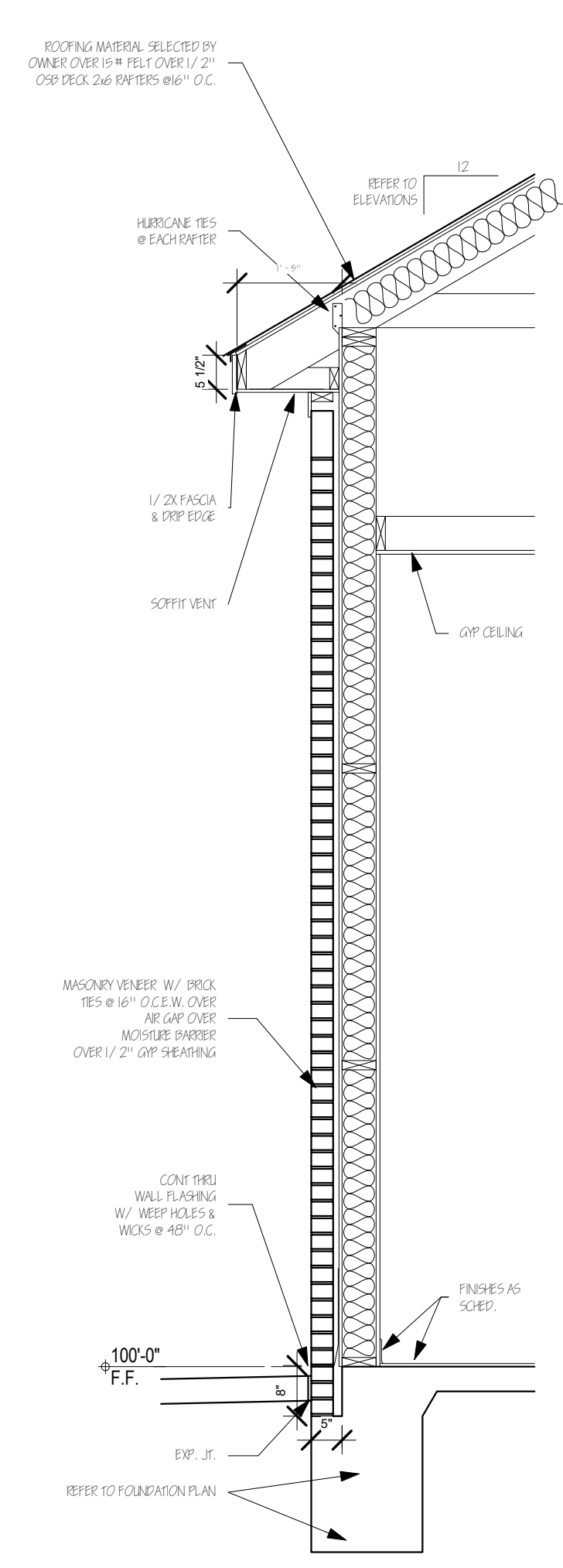
AS INDICATED BY:

- A. BRACED WALL PANEL FOR ONE STORY AND TWO STORY APPLICATIONS. MINIMUM 4'-0"
- B. ALTERNATE BRACED WALL PANEL FOR ONE STORY APPLICATIONS. 2'-8" TO 4'-0"
- C. SIMPSON STRONGWALL 18", 24", 32"
- D. FIELD-FABRICATED PORTAL FRAME SYSTEM



NOTE:

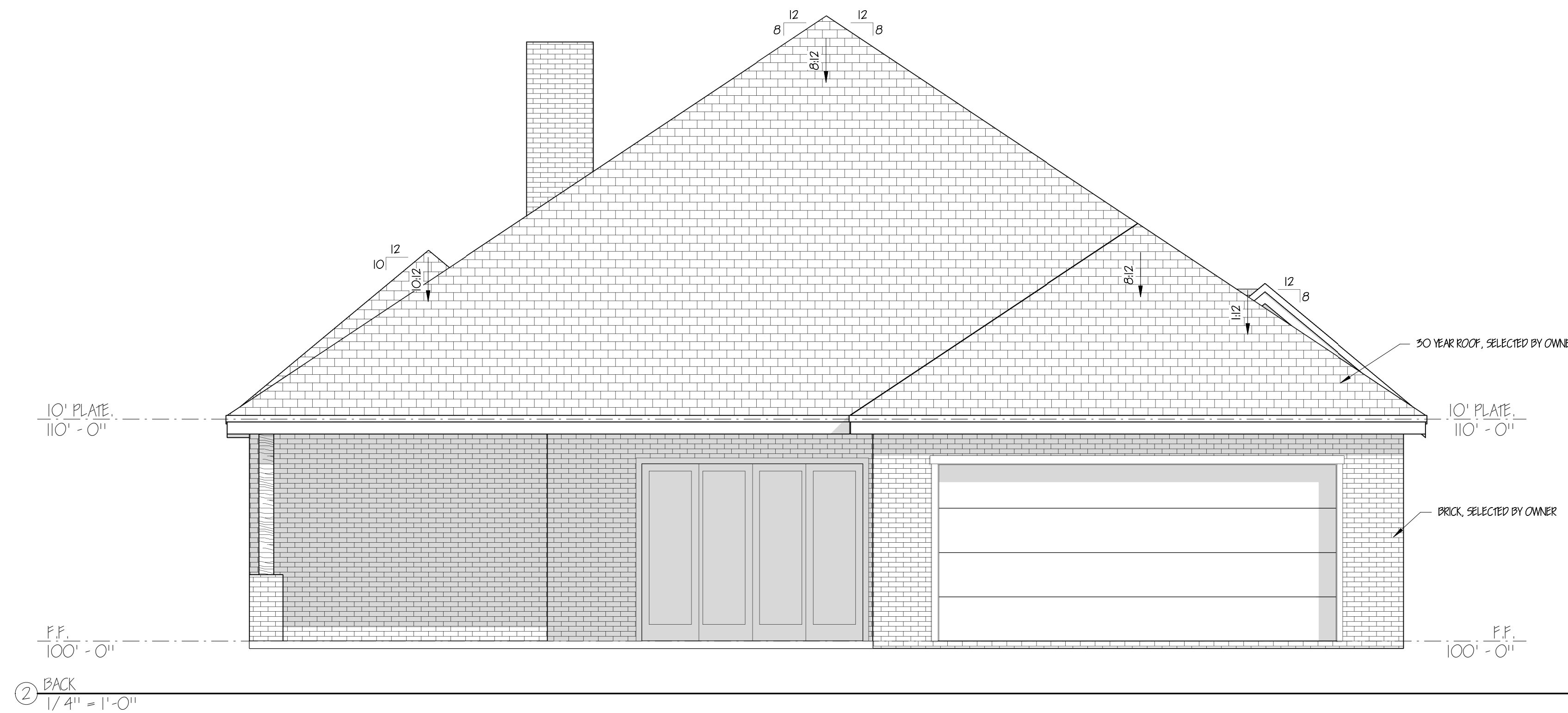
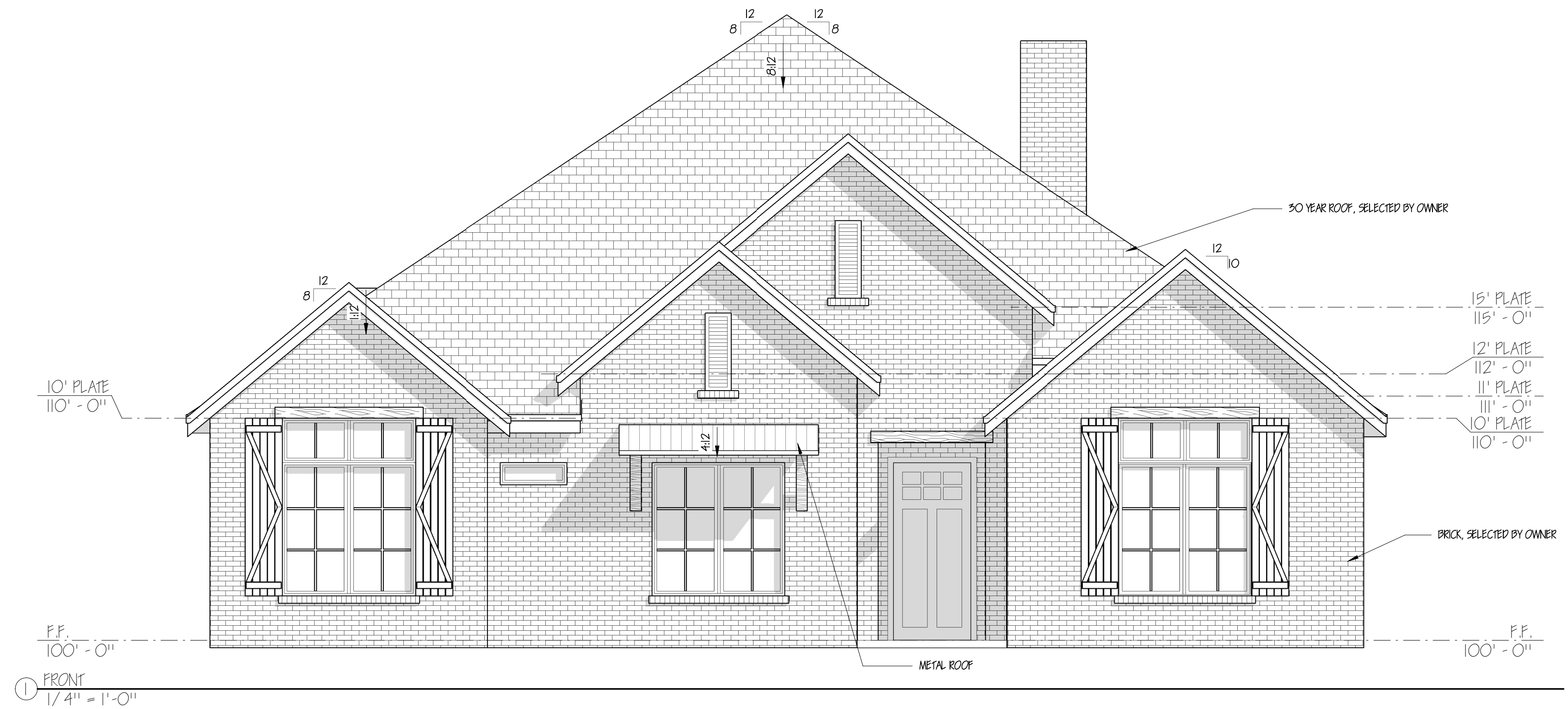
ALL STRUCTURAL FRAMING AND CONNECTIONS SHALL BE DONE ACCORDING TO LOCAL BUILDING CODES



Plan Use Agreement
By using these plans builder/owner agrees to the following. These plans are the property of the drafting and design and are not to be traced, reproduced, or used for construction without written consent of the drafting and design. Builder/owner shall check and verify all drawings prior to construction.

Square Footages	
FIRST FLOOR:	2,322 O.B.S.F.
TOTAL LIVING:	2,322 O.B.S.F.
GARAGE AND STORAGE:	639 O.B.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,378 O.B.S.F.
FIRST FLOOR:	2,229 O.F.S.F.
TOTAL LIVING:	2,229 O.F.S.F.
GARAGE AND STORAGE:	606 O.F.S.F.
TOTAL UNDER ROOF:	3,262 O.F.S.F.

Prelim Set #	
Project number: 20-293	
Date:	Issue:
	REVIEW
	REVISION 1
	REVISION II
	BID
11.05.2020	CONSTRUCTION
Sheet	A1



Lot 123 Escondido

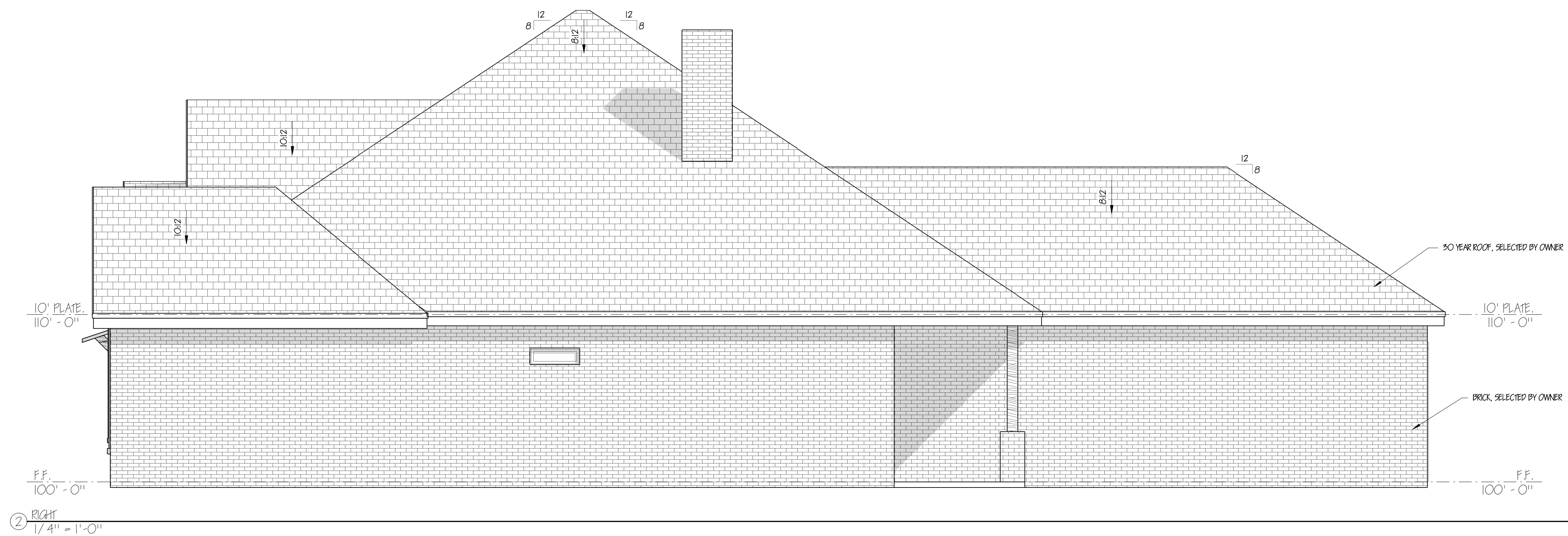
Matt Vance Homes
7614 54th St.
Lubbock, TX 79407

Plan Use Agreement
By using these plans builder/owner agrees to the following. These plans are the property of BH Drafting and design and are not to be traced, reproduced, or used for construction without written consent of BH Drafting and design. Builder/owner shall check and verify all drawings prior to construction.

Square Footages

FIRST FLOOR:	2,322 O.B.S.F.
TOTAL LIVING:	2,322 O.B.S.F.
GARAGE AND STORAGE:	639 O.B.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,378 O.B.S.F.
FIRST FLOOR:	2,229 O.F.S.F.
TOTAL LIVING:	2,229 O.F.S.F.
GARAGE AND STORAGE:	606 O.F.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,252 O.F.S.F.

Prelim Set #	
Project number: 20-293	
Date:	Issue:
	REVIEW
	REVISION 1
	REVISION II
	BID
11.05.2020	CONSTRUCTION
Sheet	A2



Lot 123 Escondido

Matt Vance Homes
7614 54th St.
Lubbock, TX 79407

Plan Use Agreement
By using these plans builder/owner agrees to the following. These plans are the property of BH Drafting and design and are not to be traced, reproduced, or used for construction without written consent of BH Drafting and design. Builder/owner shall check and verify all drawings prior to construction.

Square Footages

FIRST FLOOR:	2,322 O.B.S.F.
TOTAL LIVING:	2,322 O.B.S.F.
GARAGE AND STORAGE:	639 O.B.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,378 O.B.S.F.
FIRST FLOOR:	2,229 O.F.S.F.
TOTAL LIVING:	2,229 O.F.S.F.
GARAGE AND STORAGE:	606 O.F.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,252 O.F.S.F.

Prelim Set #

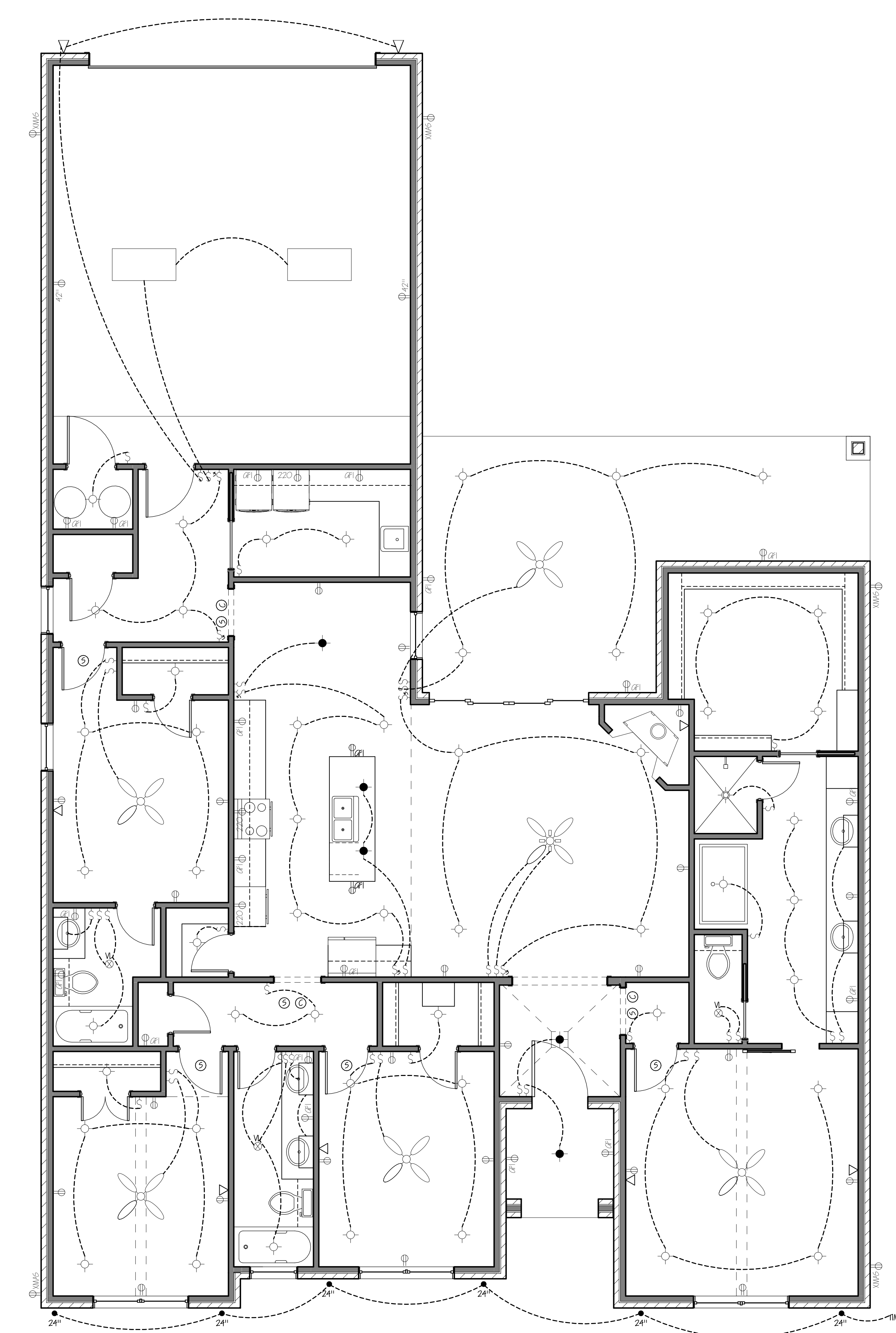
Project number:
20-293

Date: Issue:

REVIEW	
REVISION 1	
REVISION II	
BID	

11.05.2020 CONSTRUCTION

Sheet **A3**



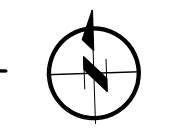
GENERAL NOTES

1. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR
2. VERIFY SWITCHING & COMM LAYOUT WITH OWNER
3. VERIFY ALL POWER REQUIREMENTS FOR APPLIANCES, WATER HEATERS, HVAC UNITS, ELECTRIC FIREPLACE, ETC
4. PROVIDE AND INSTALL ATTIC LIGHTING AND POWER PER OWNER
5. ALL EXTERIOR OUTLETS TO BE WEATHER-PROOF
6. VERIFY ALL CABLE AND TELEPHONE JACKS WITH OWNER
7. ELECTRICAL LAYOUT IS SCHEMATIC ONLY, VERIFY ALL LOCATIONS WITH BUILDER/ OWNER

ELECTRICAL LEGEND

- 3-WAY LIGHT SWITCH
- SPST LIGHT SWITCH
- 110V DUPLEX RECEPTACLE OR 220V RECEPTACLE
- DUPLEX RECEPTACLE WITH GROUND FAULT PROTECTION
- 48" (4 LAMP) SURFACE MOUNTED FLUORESCENT LIGHT
- RECESSED INCANDESCENT CAN LIGHT (OPTION: SURFACE MOUNTED IN CLOSETS)
- RECESSED DIRECTIONAL INCANDESCENT LIGHT
- PENDANT MOUNTED INCANDESCENT LIGHT
- CEILING FAN WITH LIGHT KIT
- CEILING FAN WITHOUT LIGHT KIT
- HEATER/ EXHAUST VENT/ LIGHT
- INCANDESCENT WALL MOUNTED VANNY LIGHTS
- DATA OUTLET (LAN OR COAX- VERIFY WITH OWNER)
- TELEPHONE
- TRACK LIGHT
- EAVE MOUNTED EXTERIOR FLOOD LIGHT
- INTERIOR WALL SCONCE
- EXTERIOR WALL SCONCE
- SMOKE- CARBON DIOXIDE DETECTOR
- HEATER 200 POWER

1 Electrical
1/4" = 1'-0"



Lot 123 Escondido

Matt Vance Homes
7614 54th St.
Lubbock, TX 79407

Plan Use Agreement
By using these plans builder/owner agrees to the following. These plans are the property of the drafting and design and are not to be traced, reproduced, or used for construction without written consent of the drafting and design. Builder/owner shall check and verify all drawings prior to construction.

Square Footages

FIRST FLOOR:	2,322 O.B.S.F.
TOTAL LIVING:	2,322 O.B.S.F.
GARAGE AND STORAGE:	639 O.B.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,378 O.B.S.F.
FIRST FLOOR:	2,229 O.F.S.F.
TOTAL LIVING:	2,229 O.F.S.F.
GARAGE AND STORAGE:	606 O.F.S.F.
PATIOS & PORCHES:	417 S.F.
TOTAL UNDER ROOF:	3,252 O.F.S.F.

Prelim Set #

Project number:
20-293

Date: Issue:

REVISION	
REVISION 1	
REVISION II	
BID	

11.05.2020 CONSTRUCTION

Sheet **E1**