FLOOR PLAN NOTES:

- 1. THE CONTRACTOR AND SUBCONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT ALL QUESTIONABLE
- CONDITIONS TO THE DESIGNER BEFORE STARTING THE WORK.

 2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL
- INFORMATION.
- 3. COORDINATE ALL PORTIONS OF THE WORK. 4. DIMENSIONS SHOWN ON FLOOR PLAN ARE STUD DIMENSIONS - FROM FACE OF STUD TO FACE OF STUDE UNLESS OTHERWISE NOTED.
- 5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW FOR EMERGENCY EGRESS. ALL EGRESS WINDOWS TO MEET LOCAL CODES AND REGULATIONS.
- 6. PROVIDE SAFETY GLASS IN ALL THE FOLLOWING LOCATIONS: ANY BATHROOM WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60" ABOVE THE F.F.E., ALL STAIR CASES, ALL WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 12" ABOVE THE F.F.E., AND ALL
- EXTERIOR DOORS WITH GLAZING. 7. WINDOWS TO BE SCREWED AND INSTALLED TO MANUFACTURER'S INSTALLATION
- INSTRUCTIONS. 8. ALL BOTTOM PLATES, INTERIOR AND EXTERIOR, TO BE TREATED LUMBER.
- 9. WALLS LESS THAN 5' TO PROPERTY LINE ARE REQUIRED TO HAVE A ONE HOUR FIRE RATING. 10. BATHROOM EXHAUST FANS SHOULD BE TERMINATED AT LEAST 10" ABOVE INSULATION OR
- VENTED THROUGH ROOF IF SPRAY FOAM IS USED. 11. SHOWER WALLS MUST USE CEMENT BACKER BOARD WHEN TILE IS INSTALLED.

SITE PLAN NOTES:

- REFERENCE CIVIL SHEETS FOR ALL SITE DEMOLITION.
- REFERENCE CIVIL SHEEETS FOR FIRE LANE STRIPING.
- . REFERENCE CIVIL SHEETS FOR IRRIGATION SLEEVE LOCATION. 4. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 5. ALL NEW LANDSCAPED AREAS SHALL RECEIVE 6" THICK TOPSOIL INSTALLED TO 2" BELOW T.O.C. ALL ADDITIONAL LANDSCAPING
- IMPROVEMENTS BY OWNER. 6. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT LOCATIONS TERMINATING
- IN LANDSCAPED AREAS. 7. REMOVE ALL EXISTING CURB & GUTTER PLUS ANY EXISTING SITE IMPROVEMENTS AS REQUIRED BY THE WORK.

AREA CALCULATIONS

HEATED & COOLED OB:	1456 SF
HEATED & COOLED OF:	1391 SF
FIRST FLOOR LIVING:	1391 SF
GARAGE:	452 SF
FRONT PORCH:	35 SF
BACK PORCH:	161 SF

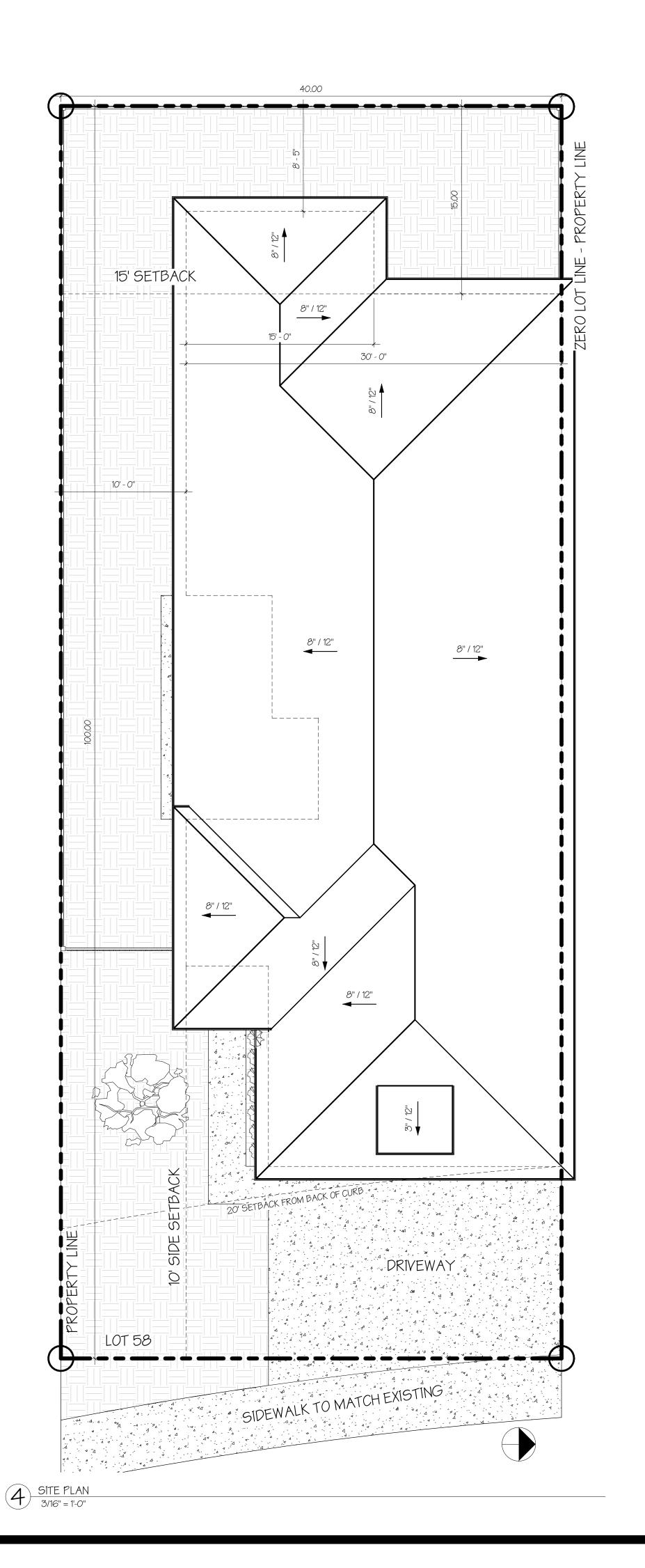
TOTAL OF: 2039 SF

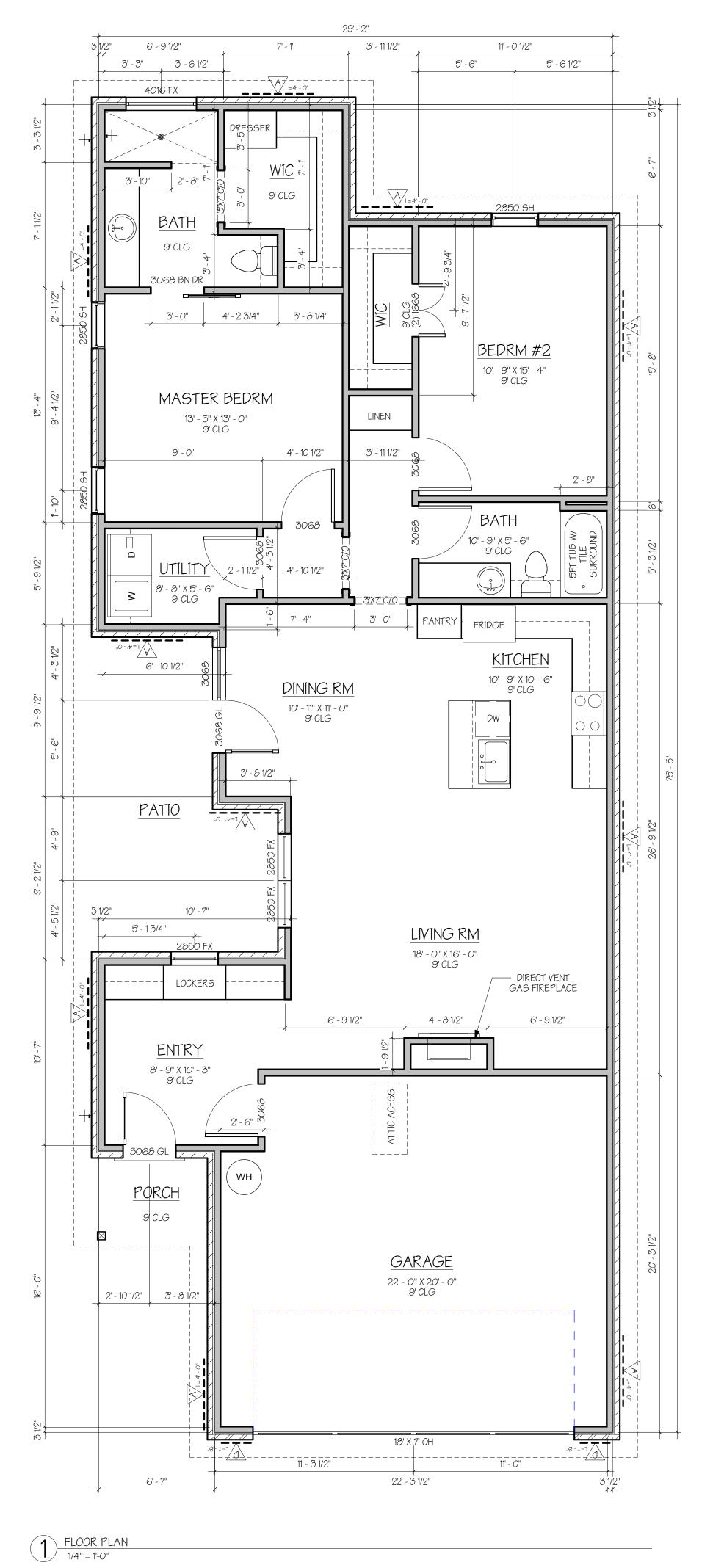
WALL PANEL BRACING

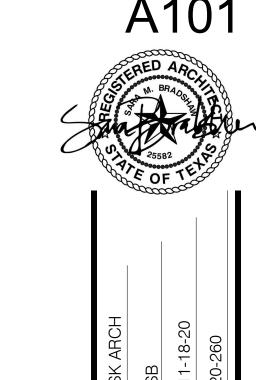
A L= 4" - 0"	BRACED WALL PANEL
B/L=1"-8"	ALTERNATE BRACED WALL PANEL
	LAMINATED BEAM

SEE WALL BRACING DETAILS ON SHEET A3







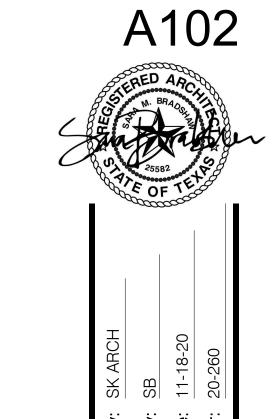


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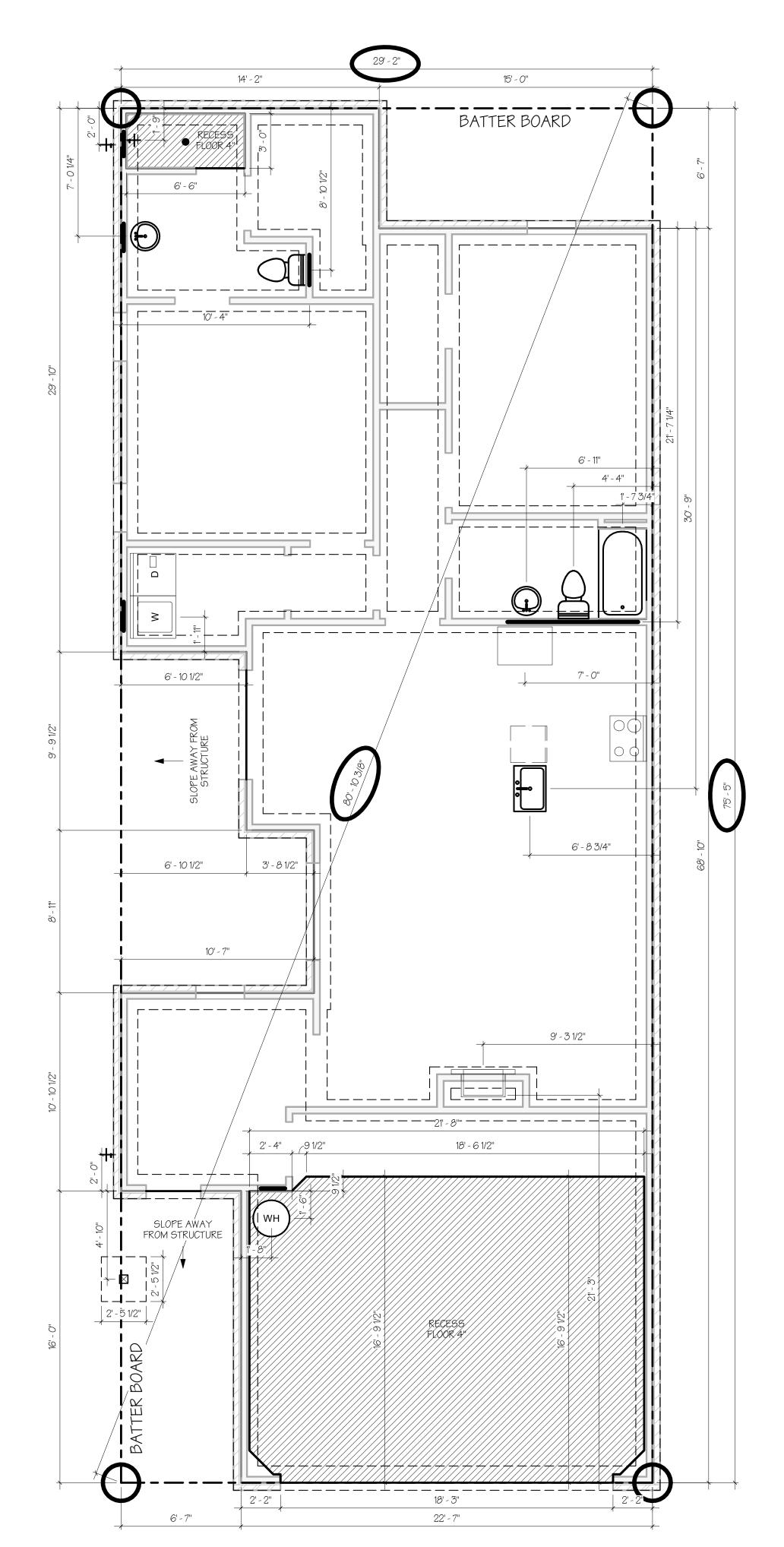
SITE & FLOOR PLAN

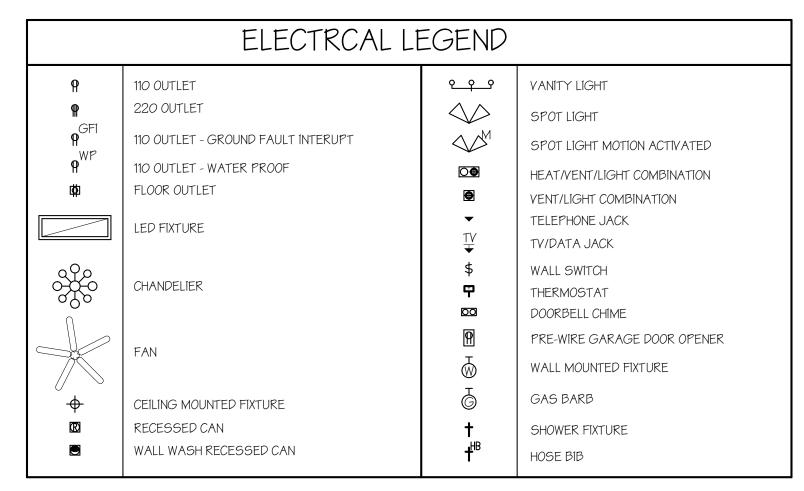


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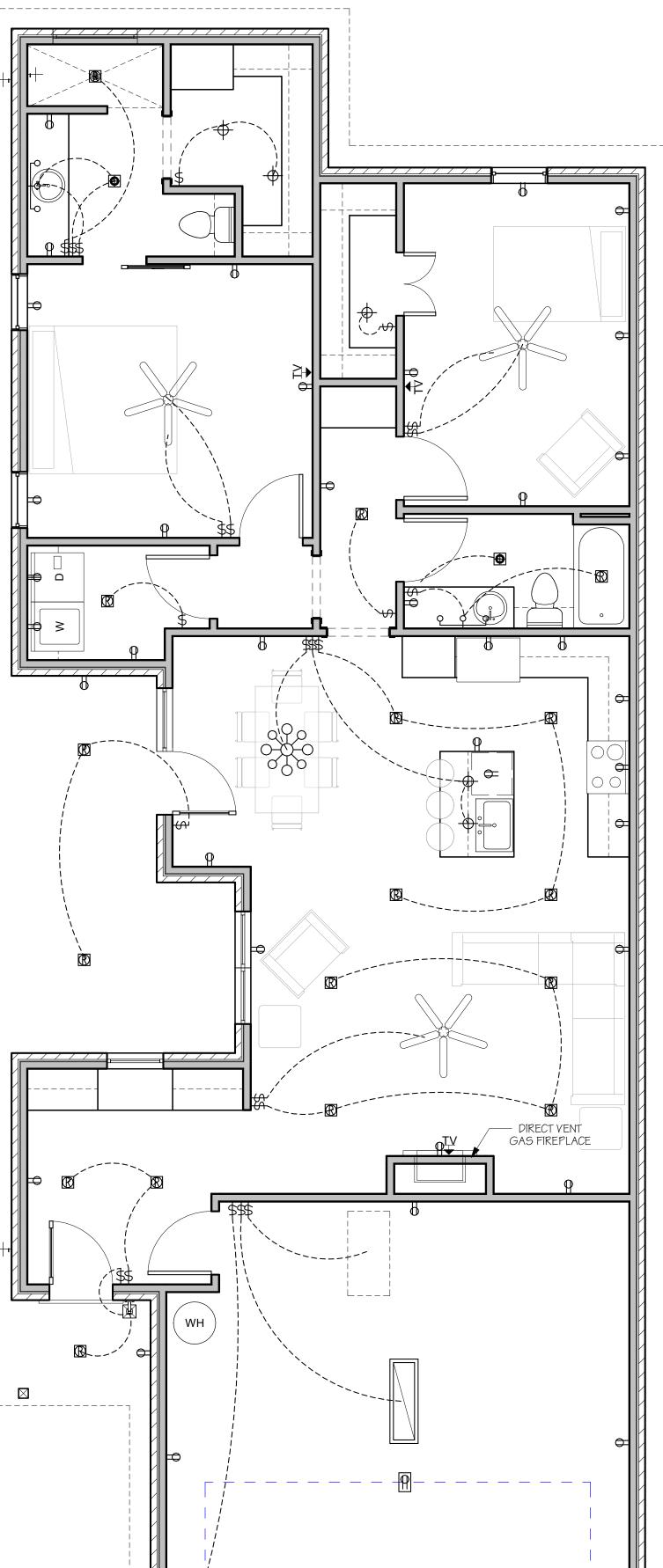
ELECTRICAL NOTES:

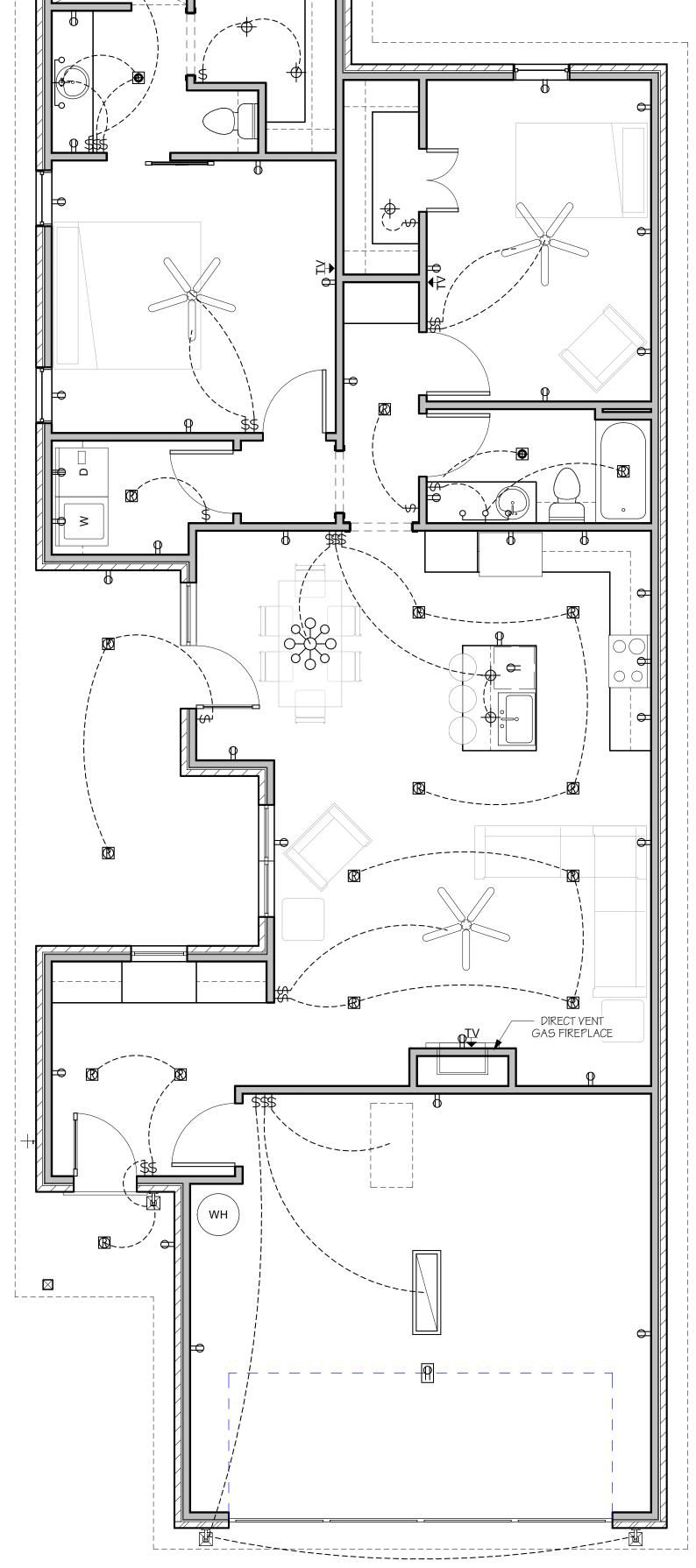
- ELECTRICAL COMPONENTS & EQUIPMENT SHALL MEET OR EXCEED ALL N.E.C. AND LOCAL CODES.
- INSTALLATIONS SHALL COMPLY WITH ALL ENTITIES HAVING JURISDICTION.
 CONTRACTOR SHALL OBTAIN OWNER APPROVAL FOR ALL FIXTURE SELECTIONS AND
- 4. VERIFY APPLIANCE AND EQUIPMENT ELECTRICAL REQUIREMENTS.
- VERIFY SECURITY SYSTEM & INTERCOM W/BUILDER.
- VERIFY CABLE/DATA/TELEVISION JACK LOCATIONS PRIOR TO INSTALLATION. VERIFY ALL FLOOR OUTLETS AS PER OWNER.
- 8. VERIFY ALL LIGHTING IN KITCHEN, BREAKFAST, & LIVING ROOM. VERIFY ALL STEREO, INTERCOM, & COMPUTER WIRERING AS PER OWNER.
- 10. VERIFY ALL OUTLETS ON EXTERIOR OF HOUSE.
- ALL EXTERIOR ELECTRICAL OUTLETS/FIXTURES TO BE WEATHER PROOF. VERIFY ALL OUTLETS IN SOFFITS. 13. VERIFY ALL EXTERIOR TREE LIGHING & LANDSCAPE LIGHTING.
- 14. PROVIDED LIGHTING THROUGHOUT ATTIC.
- 15. VERIFY ELECTRICAL FOR ATTIC FANS. 16. FIELD VERIFY LOCATION OF POWER TO BE BROUGHT TO HOUSE.
- 17. ELECTRICAL AND LIGHTING LAYOUT IS REFERENCE ONLY. FINAL LAYOUT TO BE VERIFIED BY CONTRACTOR PRIOR TO PERFORMING WORK.

FOOTING NOTES:

FOLLOWING ARE ADDITIONAL COMMENT TO BUILDERS AS A REMINDER TO CONSIDER WHEN SELECTING FOUNDATION DETAILS:

- 1. ON LOTS THAT REQUIRE MORE THAN TWO FEET OF FILL AT ANY POINT, CHECK WITH THE INSPECTION DEPARTMENT FOR DIRECTION AS TO NEEDS FOR ENGINEERED FOUNDATION DETAILS.
- . REQUIREMENT OF SAND FILL
- . REQUIREMENT OF VAPOR RETARDER 4. REQUIREMENT OF PROPER FILL MATERIAL AND COMPACTION OF ALL TRENCHES IN
- 5. CONSIDER WHERE CONCENTRATED LOAD POINTS WILL OCCUR AND CONSIDER ADDITIONAL
- CONCRETE SUPPORT AT THOSE LOCATIONS. 6. ADJUST FOOTINGS AT ZERO LOT LINES NOT TO ENCROACH ON ADJACENT LOT. . CONSIDER FOOTINGS AND FOUNDATION DETAILS AT BASEMENT LOCATIONS AND IT'S
- 8. NOTE REQUIREMENTS FOR TERMITE TREATMENT
- 9. BUILDER SHOULD BE KNOWLEDGEABLE ABOUT EXISTING NATURAL SOILS, INFORMATION FROM DEVELOPER OR PERFORM TEST TO DETERMINE SOILS INFORMATION PRIOR TO







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ELECTRICAL PLAN

1/4" = 1-0"

FOUNDATION PLAN

1/4" = 1'-0"

IRC WALL BRACING PROVISIONS

Continuous Wood Structural Panel Sheathing Method

Minimum Widths Adjacent to Openings (Adapted from the IRC Table R602.10.5)

	8' Wall Height (1)
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)
3' (38% of wall ht.)	24"
4' (50% of wall ht.)	24"
5' (62.5% of wall ht.)	24"
6' (75% of wall ht.)	32"
6'8" (83% of wall ht.)	32"
7' (88% of wall ht.)	48"
Garage Door Return	24" (4:1 aspect ratio), or
Garage Door Return	16" (6:1 aspect ratio) Portal Frame*
	9' Wall Height (1)
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)
3' (33% of wall ht.)	27"
4' (44% of wall ht.)	27"
5' (56% of wall ht.)	27"
6' (67% of wall ht.)	36"
6'8" (74% of wall ht.)	36"
7' (78% of wall ht.)	36"
8' (89% of wall ht.)	54"
Garage Door Return	27" (4:1 aspect ratio), or
Garage Door Return	18" (6:1 aspect ratio) Portal Frame*
	10' Wall Height (1)
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)
3' (30% of wall ht.)	30"
4' (40% of wall ht.)	30"
5' (50% of wall ht.)	30"
6' (60% of wall ht.)	30"
6'8" (67% of wall ht.)	40"
7' (70% of wall ht.)	40"
8' (80% of wall ht.)	40"
9' (90% of wall ht.)	60"
Garage Door Return	30" (4:1 aspect ratio), or
Garage Door Return	20" (6:1 aspect ratio) Portal Frame*

1) Measured from foundation to top of top plate

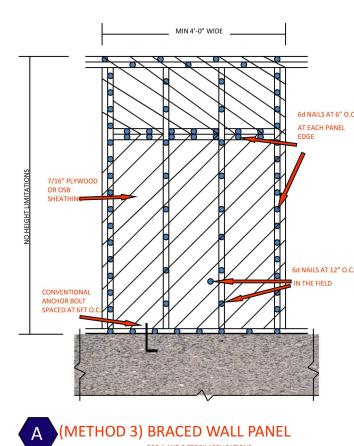
2) Rough opening height to bottom of header

3) Total width of full-height WSP sheathing panel adjacent to opening 4) Wall panel length reductions allowed by R602.10.5 are already taken into account by this table; however, the total length of braced wall panels in any braced wall ine (see table 602.10.1) may be reduced by the following amounts for the opening heights shown:

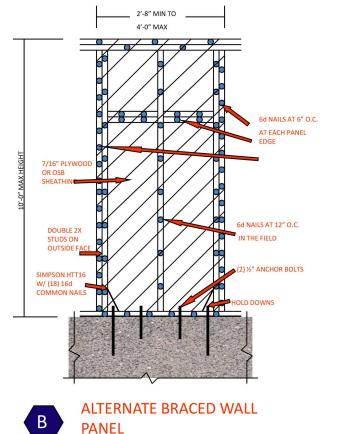
a. 90% when no opening in the braced wall line exceeds 85% of the wall height b. 80% when no opening in the braced wall line exceeds 67% of the wall height

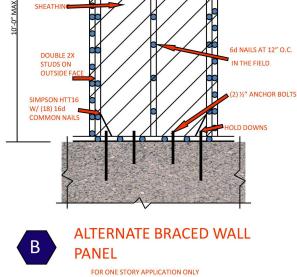
* A site-built garage portal frame, installed as per attached without embedded anchors. The version approved in the 2004 code cycle which uses embedded anchors, may be used to accommodate narrower wall widths (down to 16") than shown by the above.





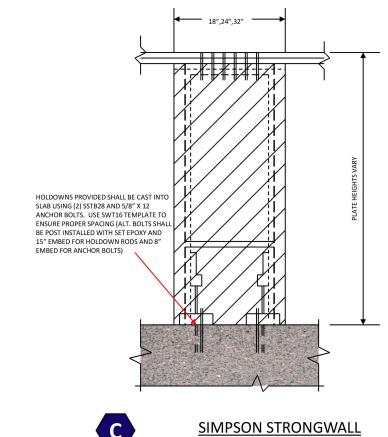




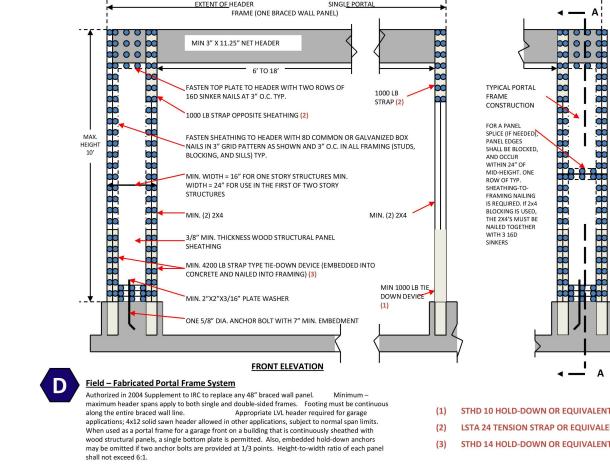


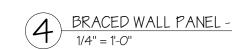


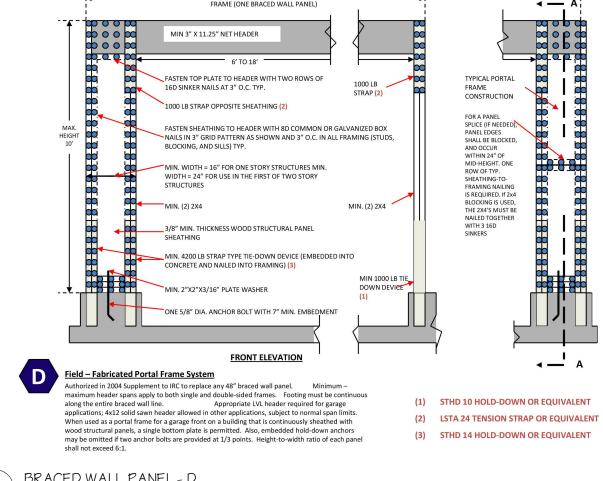
3/4" = 1'-0"

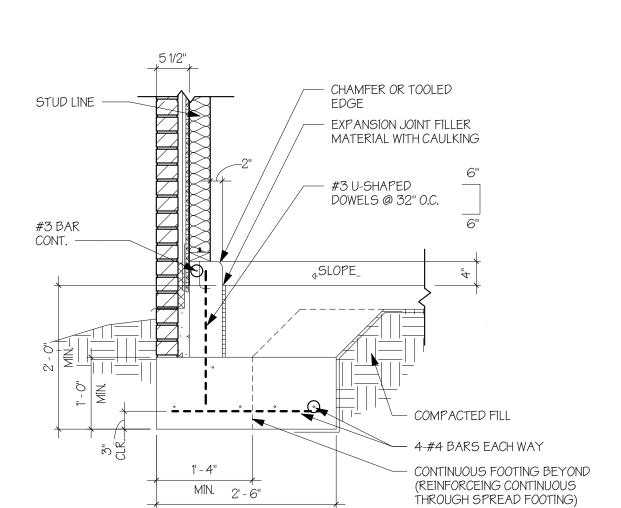




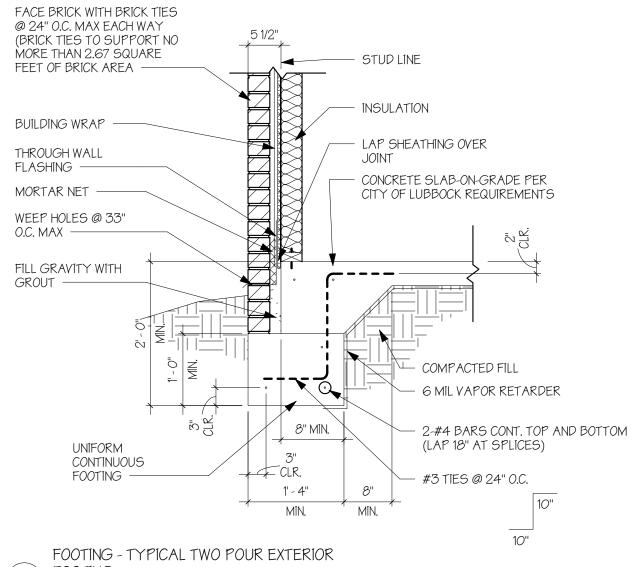


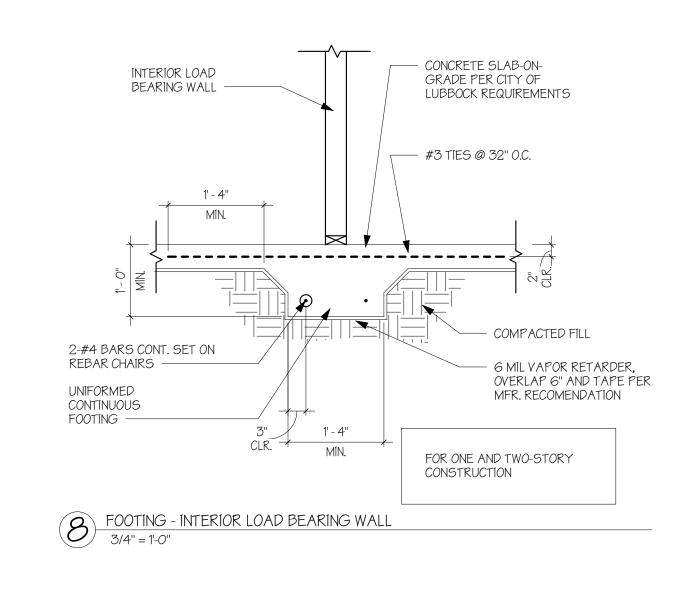


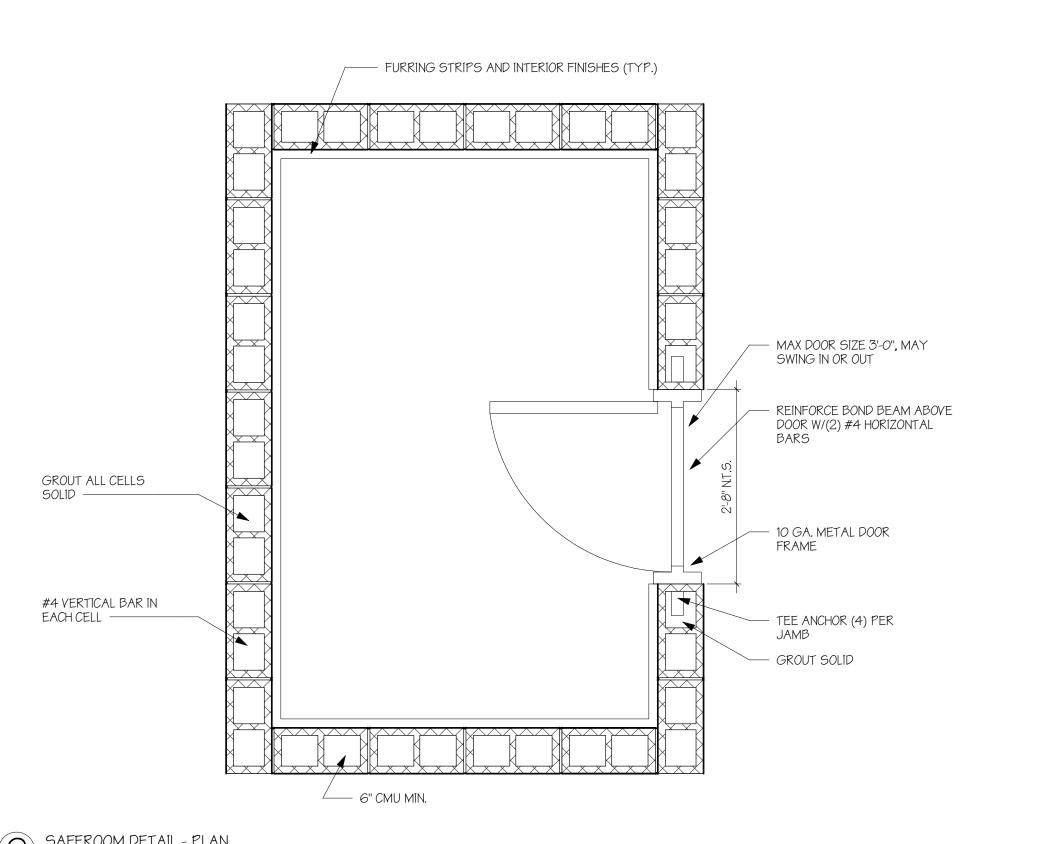


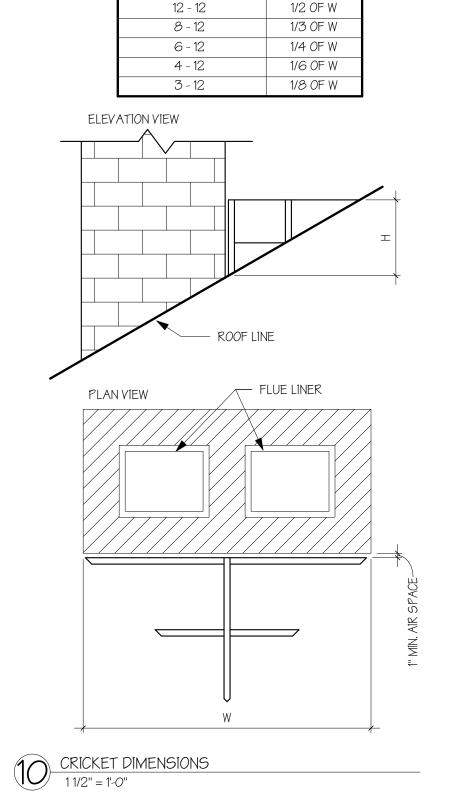






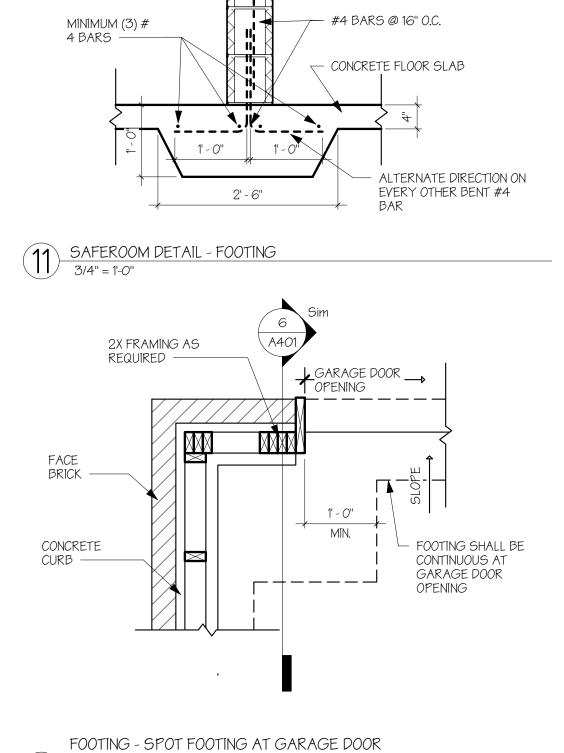




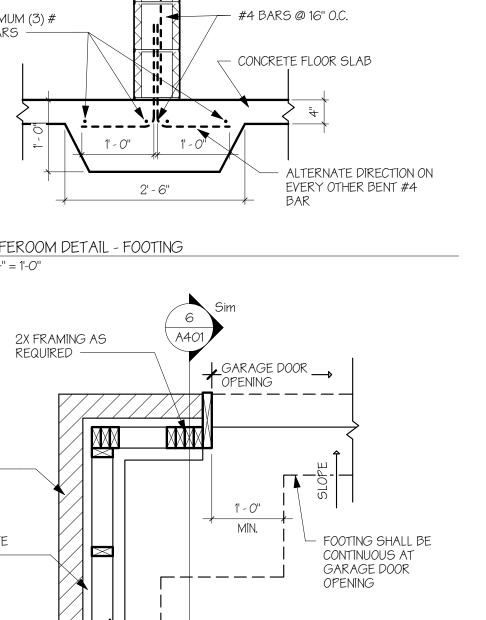


CRICKET DIMENSIONS

ROOF SLOPE



CORNER - PLAN



- CONT. REINF. IN SHELTER WALLS

PER PLAN DETAIL

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