



Drawn by: SK ARCH
 Checked by: SB
 Project Issue Date: 11-18-20
 Project Number: 20-280

CANTERA-GARDEN SPEC
 58 AMESBURY COURT
 WILSHIRE ESTATES - LOT 58

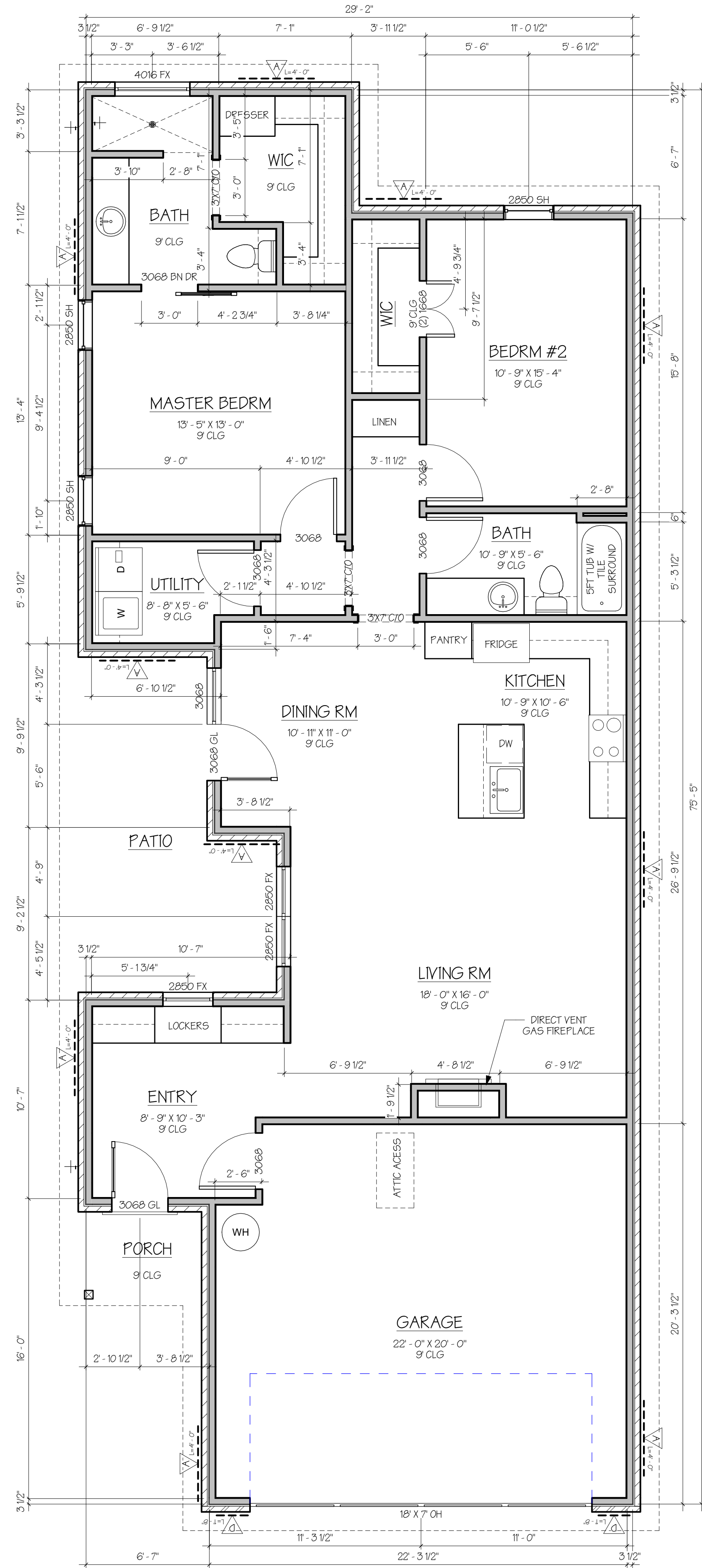


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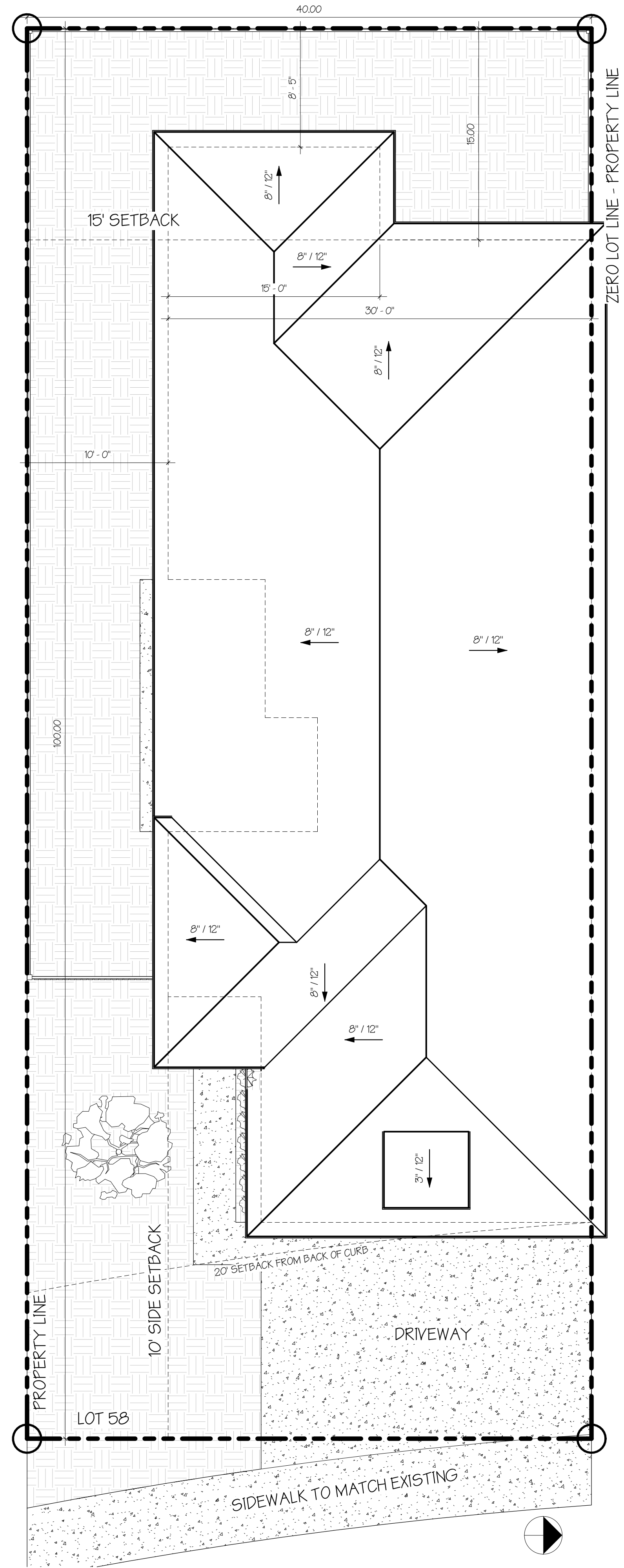
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#	Revision	Date

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1 FLOOR PLAN
 1/4" = 1'-0"



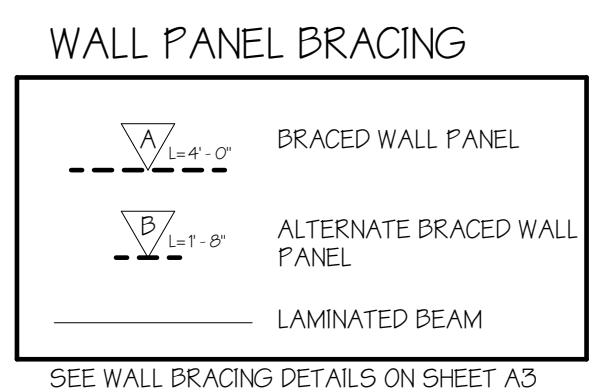
4 SITE PLAN
 3/16" = 1'-0"

- FLOOR PLAN NOTES:**
1. THE CONTRACTOR AND SUBCONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT ALL QUESTIONABLE CONDITIONS TO THE DESIGNER BEFORE STARTING THE WORK.
 2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 3. COORDINATE ALL PORTIONS OF THE WORK.
 4. DIMENSIONS SHOWN ON FLOOR PLAN ARE STUD DIMENSIONS - FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
 5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW FOR EMERGENCY EGRESS. ALL EGRESS WINDOWS TO MEET LOCAL CODES AND REGULATIONS.
 6. PROVIDE SAFETY GLASS IN ALL THE FOLLOWING LOCATIONS: ANY BATHROOM WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60" ABOVE THE F.F.E., ALL STAIR CASES, ALL WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 12" ABOVE THE F.F.E., AND ALL EXTERIOR DOORS WITH GLAZING.
 7. WINDOWS TO BE SCREWED AND INSTALLED TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 8. ALL BOTTOM PLATES, INTERIOR AND EXTERIOR, TO BE TREATED LUMBER.
 9. WALLS LESS THAN 5' TO PROPERTY LINE ARE REQUIRED TO HAVE A ONE HOUR FIRE RATING.
 10. BATHROOM EXHAUST FANS SHOULD BE TERMINATED AT LEAST 10' ABOVE INSULATION OR VENTED THROUGH ROOF IF SPRAY FOAM IS USED.
 11. SHOWER WALLS MUST USE CEMENT BACKER BOARD WHEN TILE IS INSTALLED.

- SITE PLAN NOTES:**
1. REFERENCE CIVIL SHEETS FOR ALL SITE DEMOLITION.
 2. REFERENCE CIVIL SHEETS FOR FIRE LANE STRIPING.
 3. REFERENCE CIVIL SHEETS FOR IRRIGATION SLEEVE LOCATION.
 4. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 5. ALL NEW LANDSCAPED AREAS SHALL RECEIVE 6" THICK TOP SOIL INSTALLED TO 2" BELOW T.O.C. ALL ADDITIONAL LANDSCAPING IMPROVEMENTS BY OWNER.
 6. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT LOCATIONS TERMINATING IN LANDSCAPED AREAS.
 7. REMOVE ALL EXISTING CURB & GUTTER PLUS ANY EXISTING SITE IMPROVEMENTS AS REQUIRED BY THE WORK.

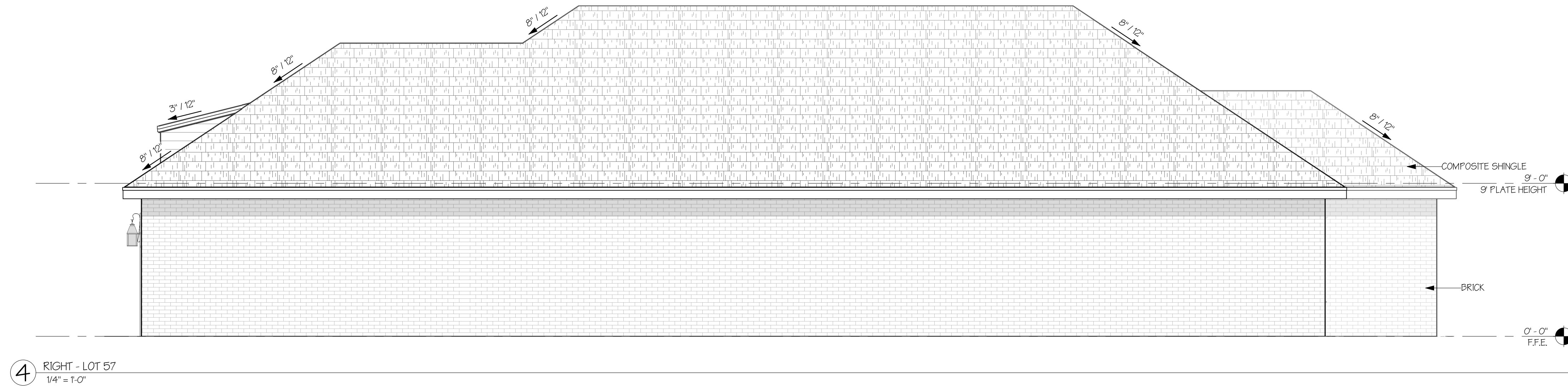
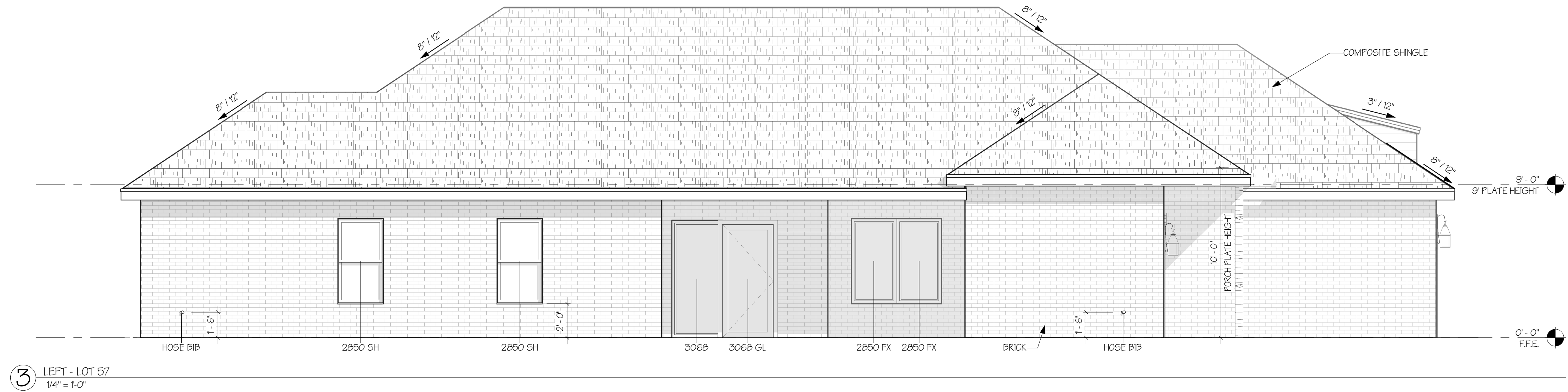
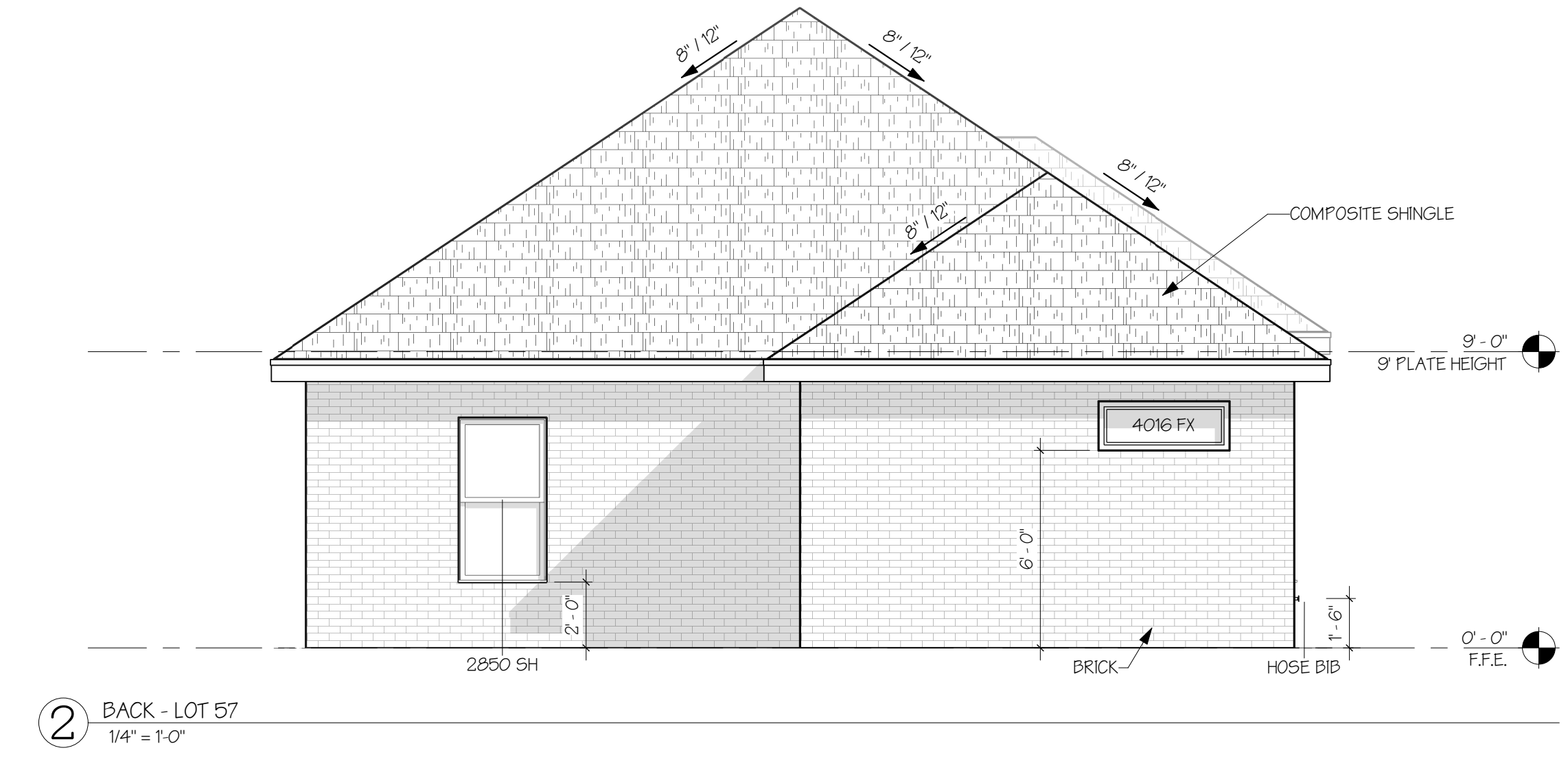
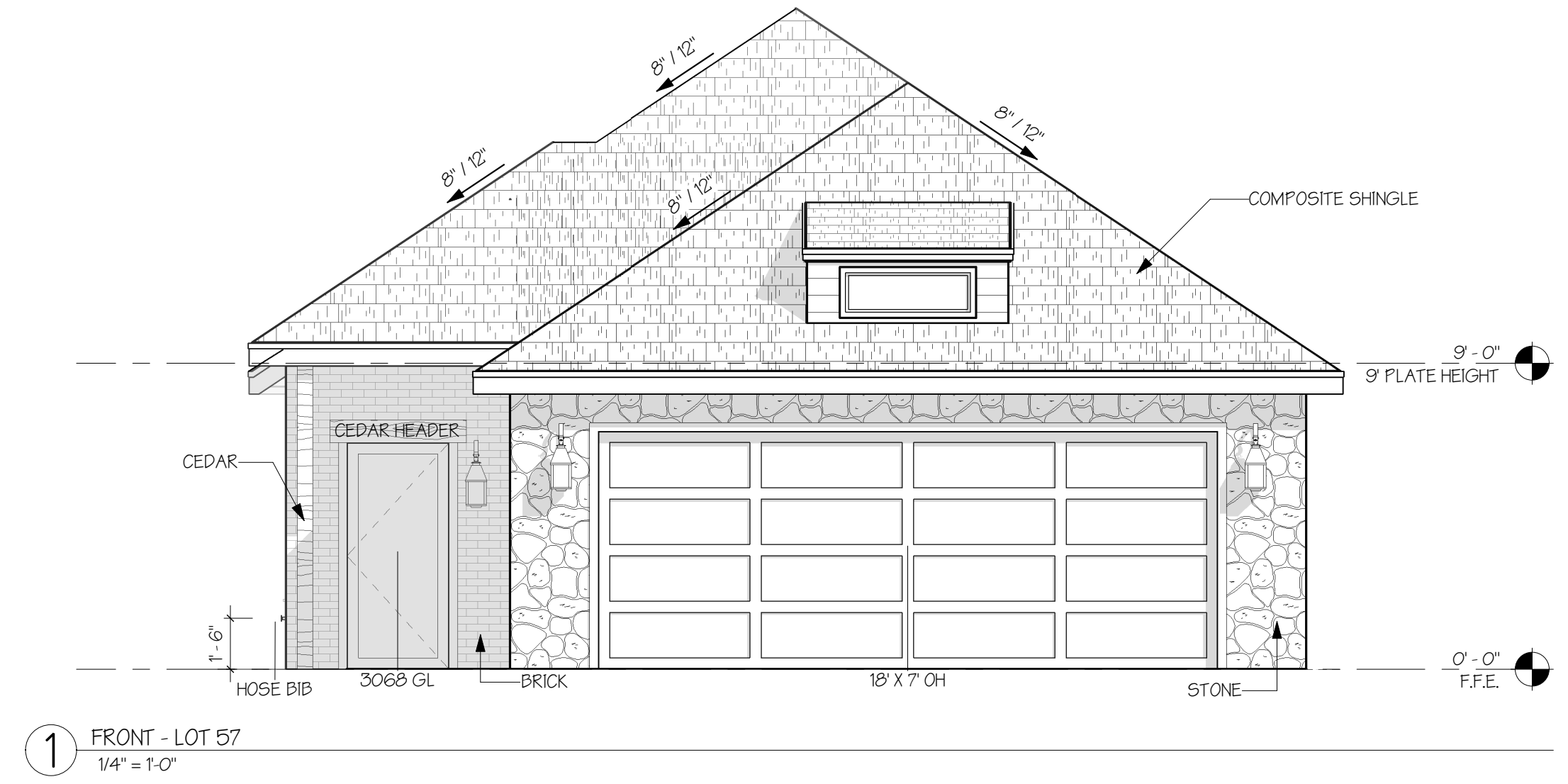
AREA CALCULATIONS

HEATED & COOLED OB:	1456 SF
HEATED & COOLED OF:	1391 SF
FIRST FLOOR LIVING:	1391 SF
GARAGE:	452 SF
FRONT PORCH:	35 SF
BACK PORCH:	161 SF
TOTAL OF:	2039 SF





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